



DESIGN AND ACCESS STATEMENT

May 2022



Marlow Film Studios

DESIGN AND ACCESS STATEMENT

Masterplanners: **Prior + Partners**

Concept Architects: **WilkinsonEyre**

May 2022

PREFACE

A VISION FOR THE FUTURE

The British film and TV industry stands as one of this country's great ongoing success stories.

In 2021, £5.1 billion was spent on film and television production here, up nearly 30% from the previous, pre-pandemic record. With the great majority of that spend coming from overseas and going to studios close to Marlow.

The combination of our rich cultural heritage, our world-leading facilities, our deep pool of talent and supportive Government policies, both national and local, has made the UK, and southern Buckinghamshire in particular, the premier destination for many film makers at the highest level.

In a time when so much is uncertain, the benefits to the economy, to jobs and to our international status are self-evident. In an era when global households become increasingly connected to high speed broadband, and preferring UK made content, these benefits have a clear route to future expansion.

But that very success also presents challenges.

Productions, that are eager to come here, are having to relocate abroad. Simply because they can't all be accommodated. Demand for well-placed specialist space and human resources increasingly outstrips what's available and even what's planned.

Our record of seizing this market, spectacular as it is, must be even better and have the room to be better. The creation of new career pathways and life chances is a substantial opportunity, within reach which we must not let slip.

Marlow Film Studios will be a major force in addressing this, meeting the industry's increasing very specific needs, while setting new standards for film studio design. It will be an unashamedly inspiring place to work, create, educate and learn, for a celebrated and award-winning workforce.

It will provide a welcoming environment delivering a workplace focused on its occupants' health and well-being, providing strong bonds to nature alongside active mobility options and amenities.

The goal is to positively influence the local economy and contribute to the area's culture. It will create a hub for skills, technology, and creative people, as well as for social and community life – for both the film industry and neighbours.

This proposal is also aligned with the community's ambitions for public infrastructure improvements, recreational opportunities and increased biodiversity.

It is the right idea, at the right time, in the right place.

Robert Laycock

CEO Marlow Film Studios.

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7.0 ARCHITECTURE



7.22.4 WORKSHOPS & OFFICE TYPE 4

Type 4 is a mixed-used workshop and office building that has a simple rectilinear, modular form. There is a set back at the upper level with a canopy creating a rooftop 'pavilion'. The setback also assists in breaking down the massing.

This building type is 3 storeys. This type is known as the head quarter typology. It has a higher specification than the other workshops, such as raised access flooring.

The ground floor can be utilised as workshop or office and studio space. The upper levels are designed to be utilised as offices. Level 2 has a large terrace providing amenity to the tenants.

The ground and first floors have the same cladding system, a curtain walling of which 50% solid cladding and 50% glazed organized in a hit-and-miss arrangement. Some of the glazing has solar shading. The upper floor has the appearance of being 'glassier' but incorporates solid spandrel panels. The overhang also assists in providing shading to the glass.

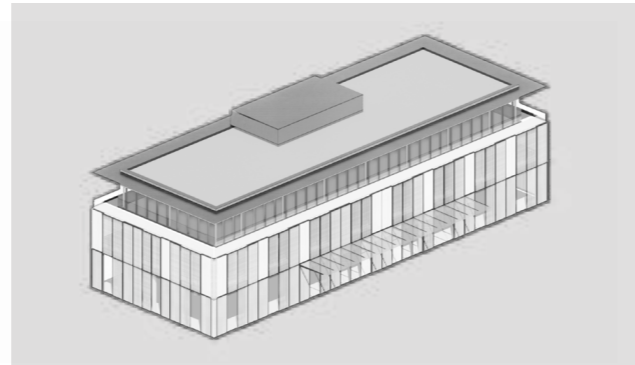


Figure 7.87 Type 4A

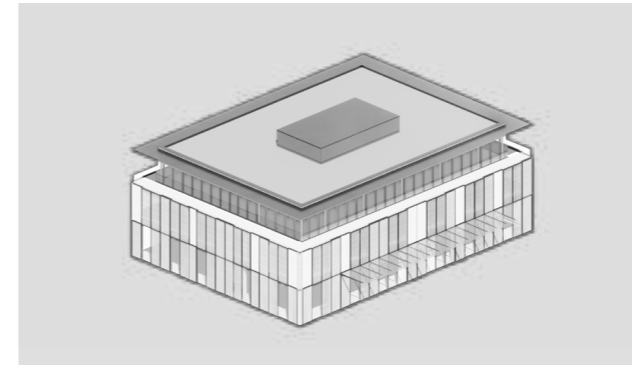


Figure 7.88 Type 4B



Figure 7.89 Workshop & Office Standard Facade View



Figure 7.90 Workshop & Office Primary Facade View

TYPICAL PLANS

The ground floor workshops are large open plan spaces which are accessed by a series of openings; two elephant doors to allow for large stage sets to be moved in and out. There are smaller double doors and escape doors for staff access. The offices above are accessed through a ground floor lobby and through the central core. The workshops can be subdivided into smaller units if required.

The office space on the first floor is a large flexible space that can be subdivided into multiple tenancies if required.

The office space on the second floor is a large flexible space that can be subdivided into multiple tenancies if required. The staff has access to a large balcony, providing some amenity.

The roof can be accessed for maintenance only via the core.

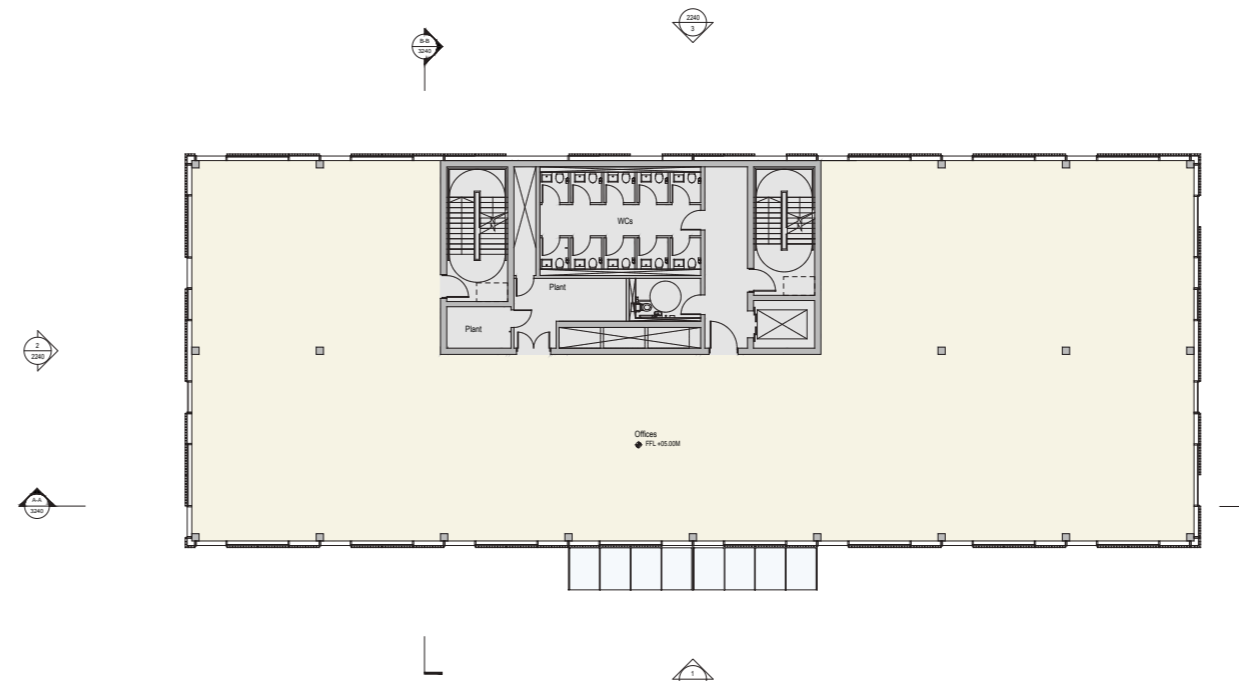


Figure 7.91 Workshop & Office First Floor Plan

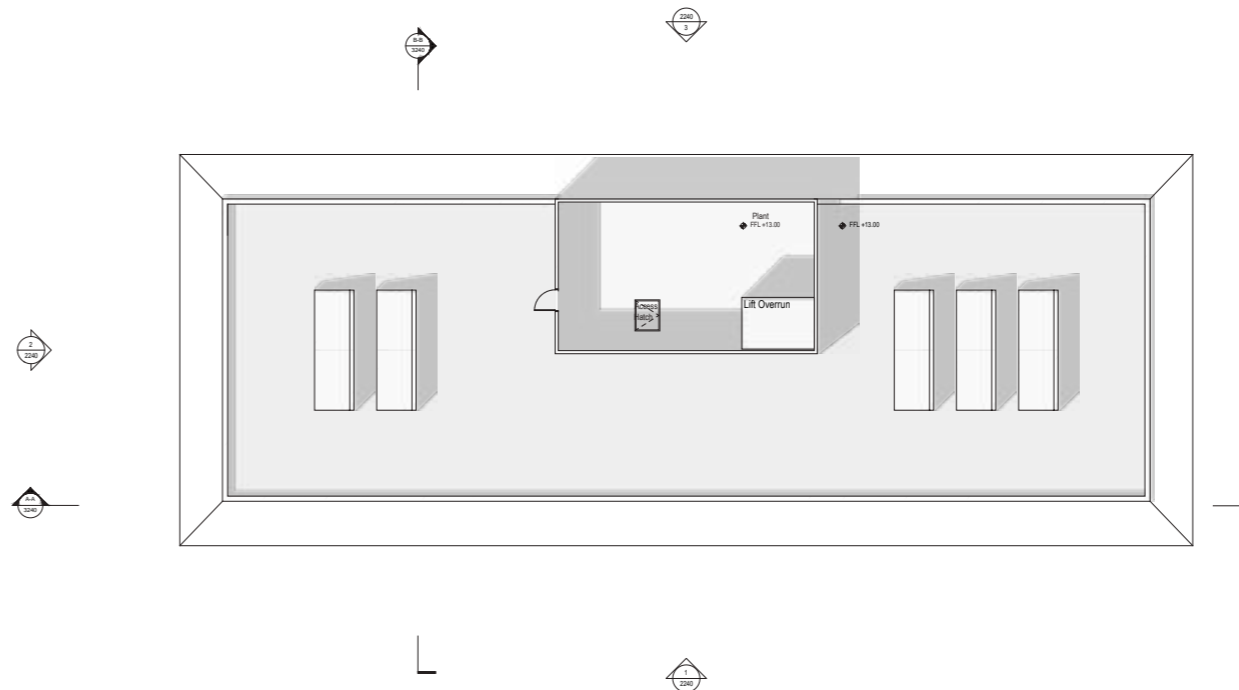


Figure 7.92 Workshop & Office Roof Plan

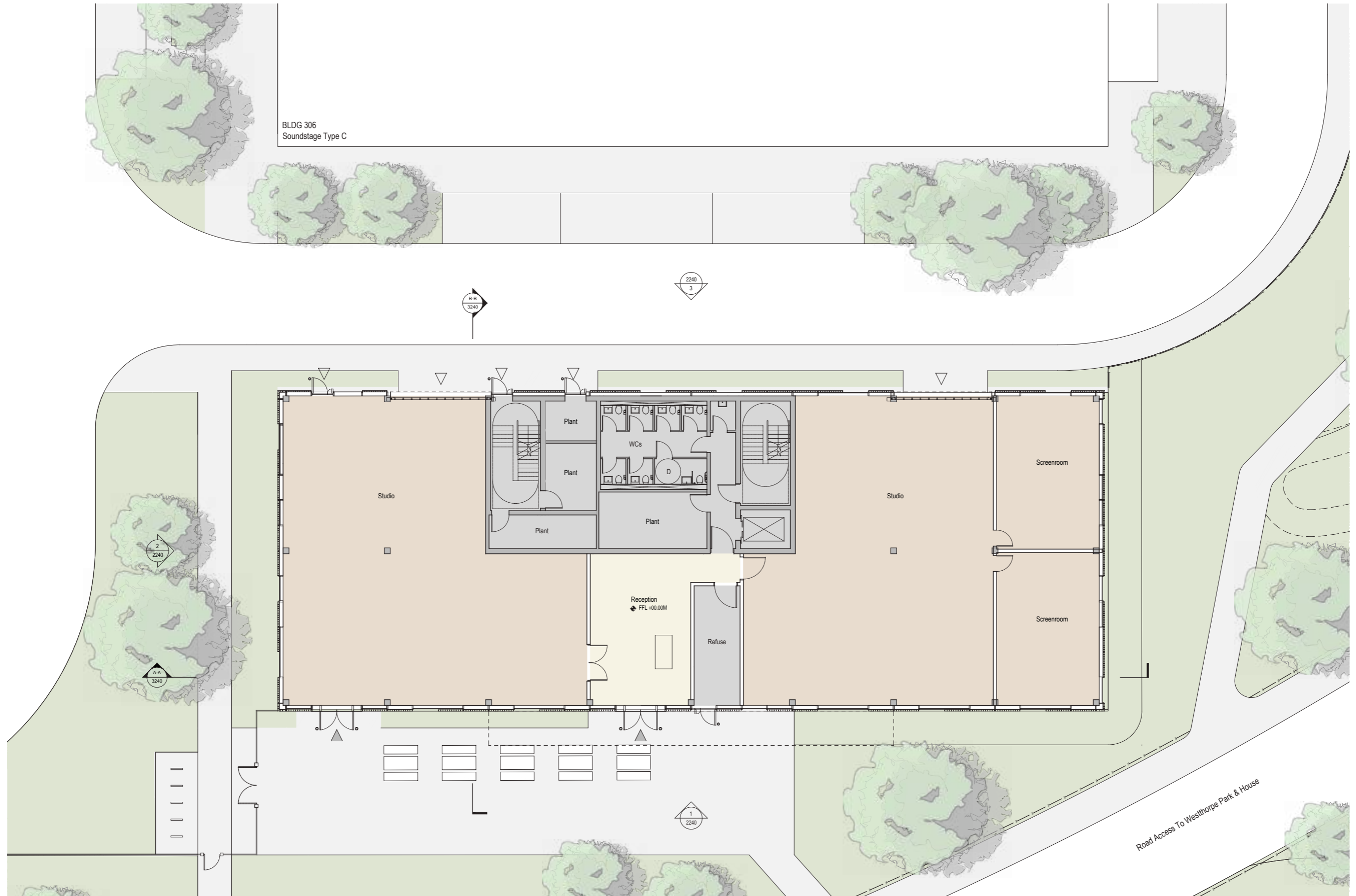


Figure 7.93 Workshop & Office Ground Floor Plan

FACADE DETAILS

Buildings Envelope Materiality

1. Fair faced concrete
2. Metal profiled cladding
3. Metal profile flashing
4. Metal doors
5. Perforated metal profiled screen
6. Translucent cladding
7. Glazed Curtain walling, glazed doors
8. Glazed and metal clerestory windows
9. Glazed Curtain walling
10. Glazed and metal insulated Curtain walling
11. Glazed Curtain walling with integrated mesh shading
12. Glazed and timber insulated Curtain walling with timber shading
13. Timber brise-soleil
14. Metal brise-soleil
15. Metal louvre panels
16. Timber cladding to soffit and reveals
17. Metal standing seam cladding
18. Tiled roof
19. Green roof
20. Metal weather louvres
21. Roof lights
22. Glass vertical fins
23. Glass balustrade

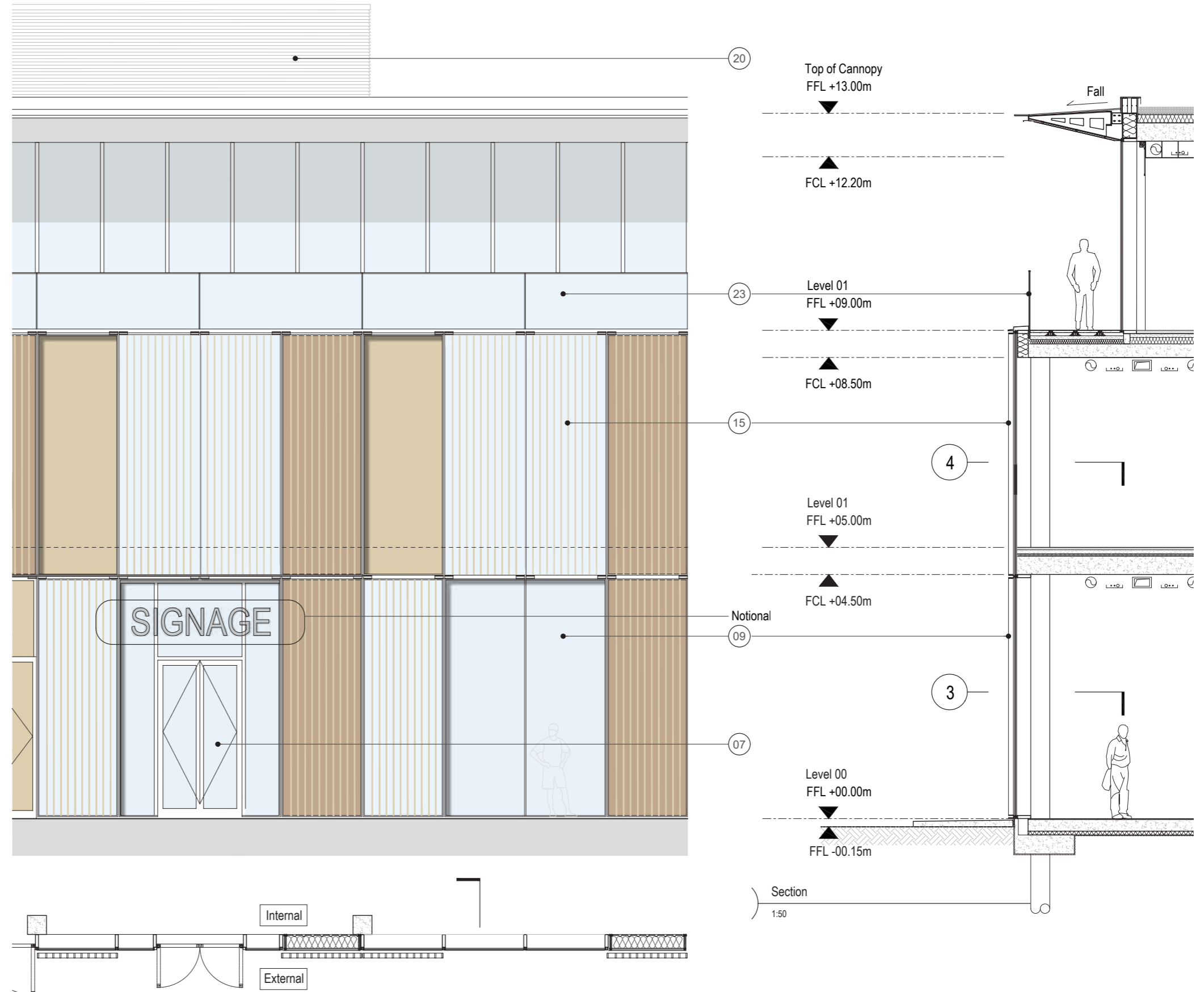


Figure 7.94 Workshop & Office Typical Facade Details

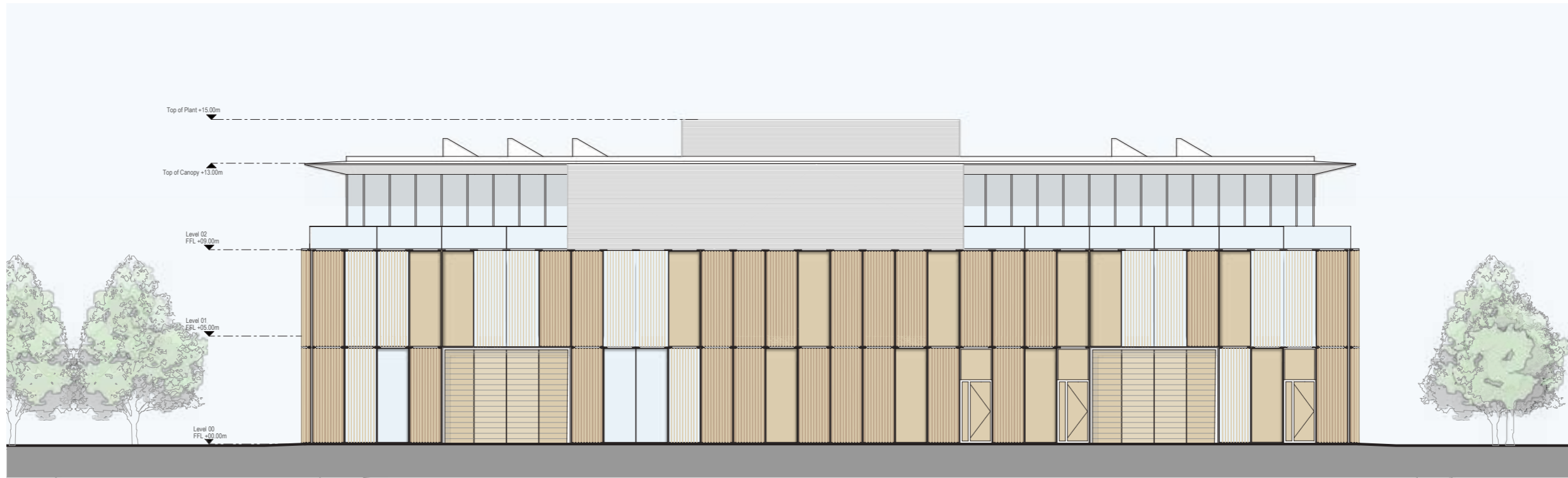


Figure 7.95 Workshop & Office Typical Elevations

7.22.5 WORKSHOPS & OFFICE TYPE 6

Type 6 is a mixed-used workshop and office building with a distinctive and unique 'sawtooth' roof form utilised to break down the massing, reduce its height impact and create 'loft style' spaces.

This workshop type is a single story due to its proximity to the southern border. The building is split in plan to have double-height workshops to the north and two floors of office space to the south. The massing is staggered along the southern perimeter further breaking down the volume. The architecture also mimics a set of terrace houses.

The roof incorporates a series of skylights to bring daylight into the depths of the floor plan.

The south facade consists of curtain walling to provide the office space with daylight. The north, east and west facades are generally solid metal panelling except for at low level which are concrete clad for robustness. We have also incorporated translucent panelling to bring in light and create a zone of activity along the streetscape.

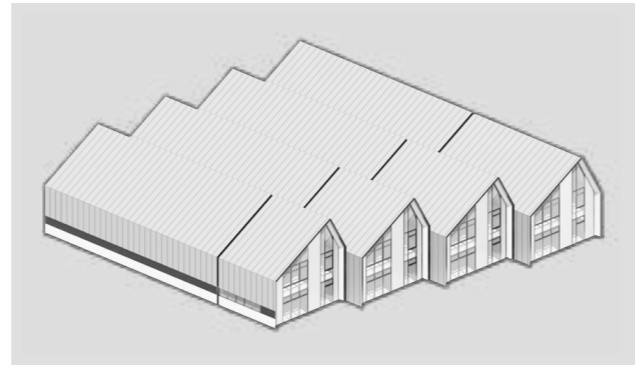


Figure 7.96 Type 6



Figure 7.97 Workshop & Office North Elevation



Figure 7.98 Workshop & Office View from the South East

PLANS

The floor plan has two uses, the south is office and the north has workshop spaces. The office space has a mezzanine floor. The northern workshop is a large open plan spaces which is accessed by a series of openings; three elephant doors to allow for large stage sets to be moved in and out. There are smaller double door and escape doors for staff access. For the offices to the south, they are accessed through a ground floor lobby and through the central core. The workshops and office can be subdivided into smaller units if required.

The roof plan has a series of roof lights to bring in light into the deepest part of the floor plate.

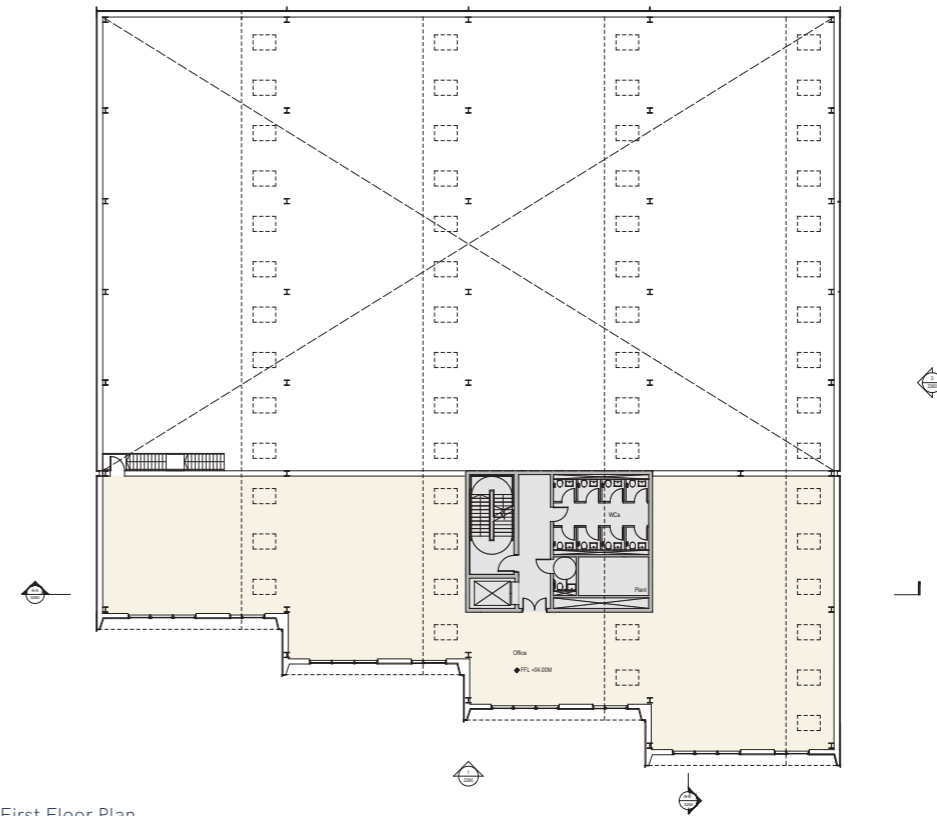


Figure 7.99 Workshop & Office First Floor Plan



Figure 7.100 Workshop & Office Roof Plan

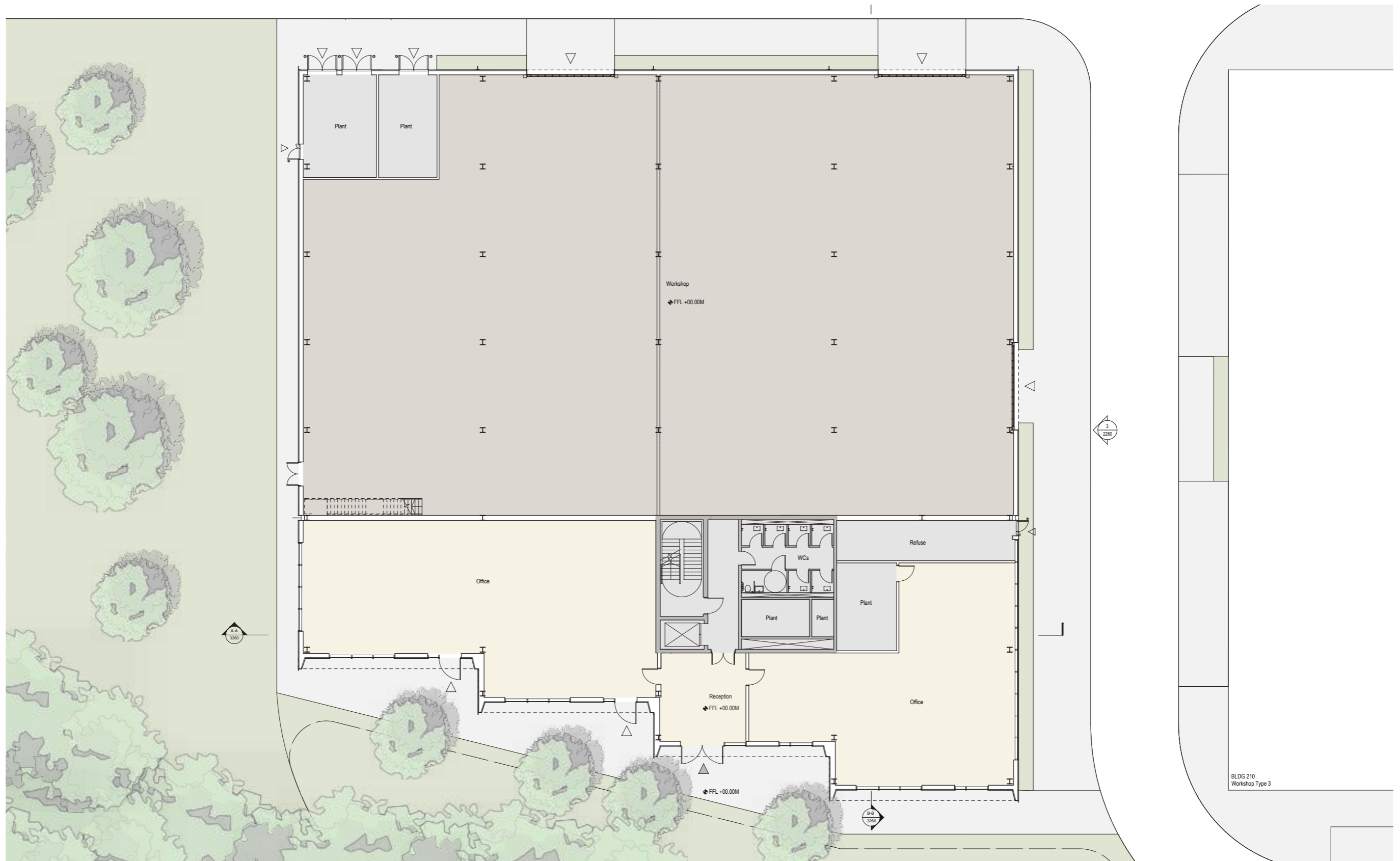


Figure 7.101 Workshop & Office Ground Floor Plan

FACADE DETAILS

Buildings Envelope Materiality

1. Fair faced concrete
2. Metal profiled cladding
3. Metal profile flashing
4. Metal doors
5. Perforated metal profiled screen
6. Translucent cladding
7. Glazed Curtain walling, glazed doors
8. Glazed and metal clerestory windows
9. Glazed Curtain walling
10. Glazed and metal insulated Curtain walling
11. Glazed Curtain walling with integrated mesh shading
12. Glazed and timber insulated Curtain walling with timber shading
13. Timber brise-soleil
14. Metal brise-soleil
15. Metal louvre panels
16. Timber cladding to soffit and reveals
17. Metal standing seam cladding
18. Tiled roof
19. Green roof
20. Metal weather louvres
21. Roof lights
22. Glass vertical fins
23. Glass balustrade

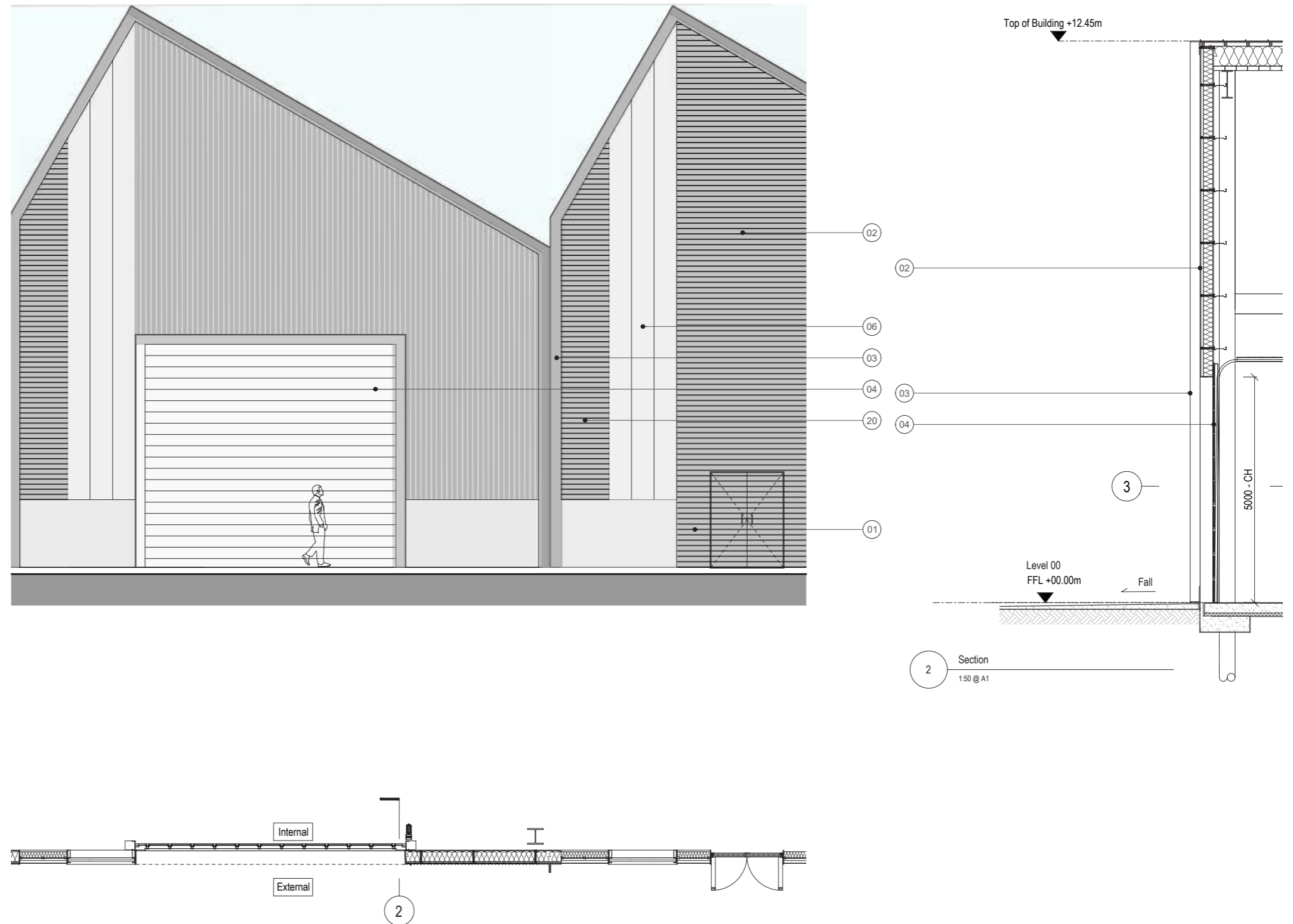


Figure 7.102 Workshop & Office Typical Facade Details

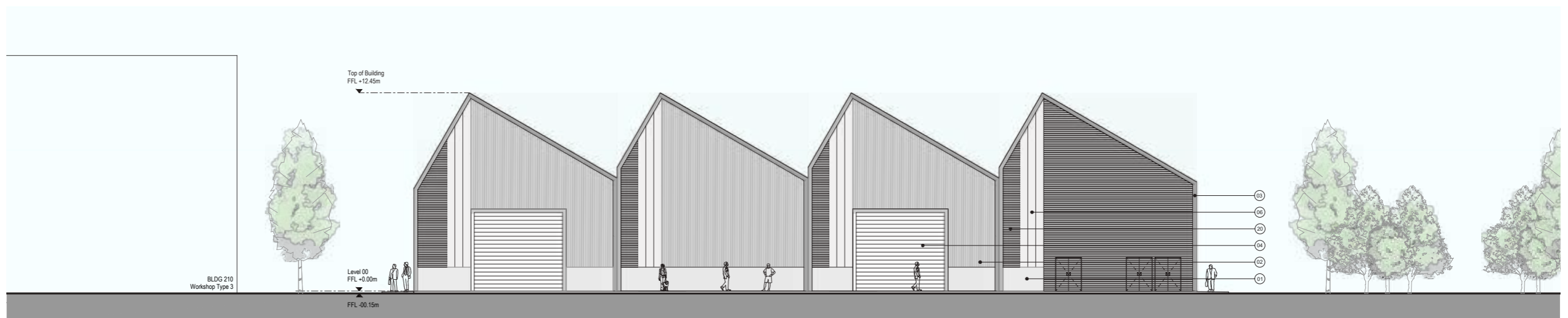


Figure 7.103 Workshop & Office Typical Elevations

7.23 CARPARKS

There are two multi-storey car parks on the site that provide the vast majority of the site's parking requirements. One is located to the north, near the site entrance, the second is located in the south of the site adjacent to the Public Right of Way. Both car parks are naturally ventilated through their facade and so a related architectural treatment has been adopted for both buildings.

Northern Multi-Storey Carpark

The building comprises of two rectilinear blocks housing approximately 750 cars. The building is arranged with 5 decks for parking above ground floor. An access road passes through between the blocks and a bridging element spans the road at this point. The bridge will be clad in flat, translucent cladding whilst the perforated metal cladding to the main facades is profiled to create a distinctive 3D geometric pattern. The geometric cladding is arranged from first floor above an expressed open ground floor.

The uppermost deck is covered with a mesh grillage that will screen the cars and any potential reflection from them from distant views. The grillage will also support photovoltaic solar panels across the extent of the roof. The eastern block houses visitor parking on the ground floor and the western block has a double height space at ground level that provides a multi-functional workspace and provision for a substation and associated plant rooms.

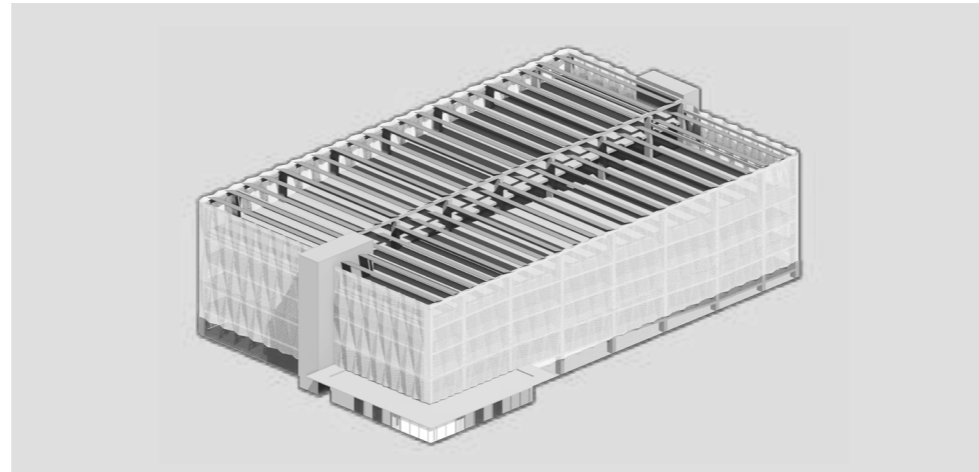


Figure 7.104 Southern Multi-Storey Carpark

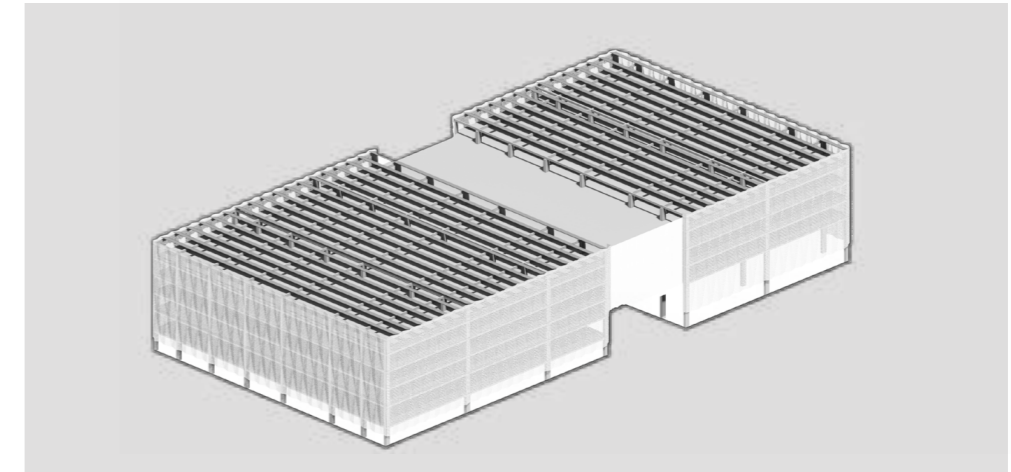


Figure 7.105 Northern Multi-Storey Carpark



Figure 7.106 Southern Multi-Storey Carpark View from the East along Public Right of Way



Figure 7.107 Northern Multi-Storey Carpark Elevation View looking West

PLANS

Southern Multi-Storey Carpark

The Southern Multi-Storey Carpark has a similar architectural cladding treatment to its facades and a split section providing 4 to 5 levels of parking above ground. Due to its close proximity to the Public Right of Way, a provision has been made to provide a small café. This facility will be open for public use activating the Public Right of Way. This space also provides an amenity for those working on the site at the southern end of the development. Again a grillage screens cars on the upper deck from distant views.

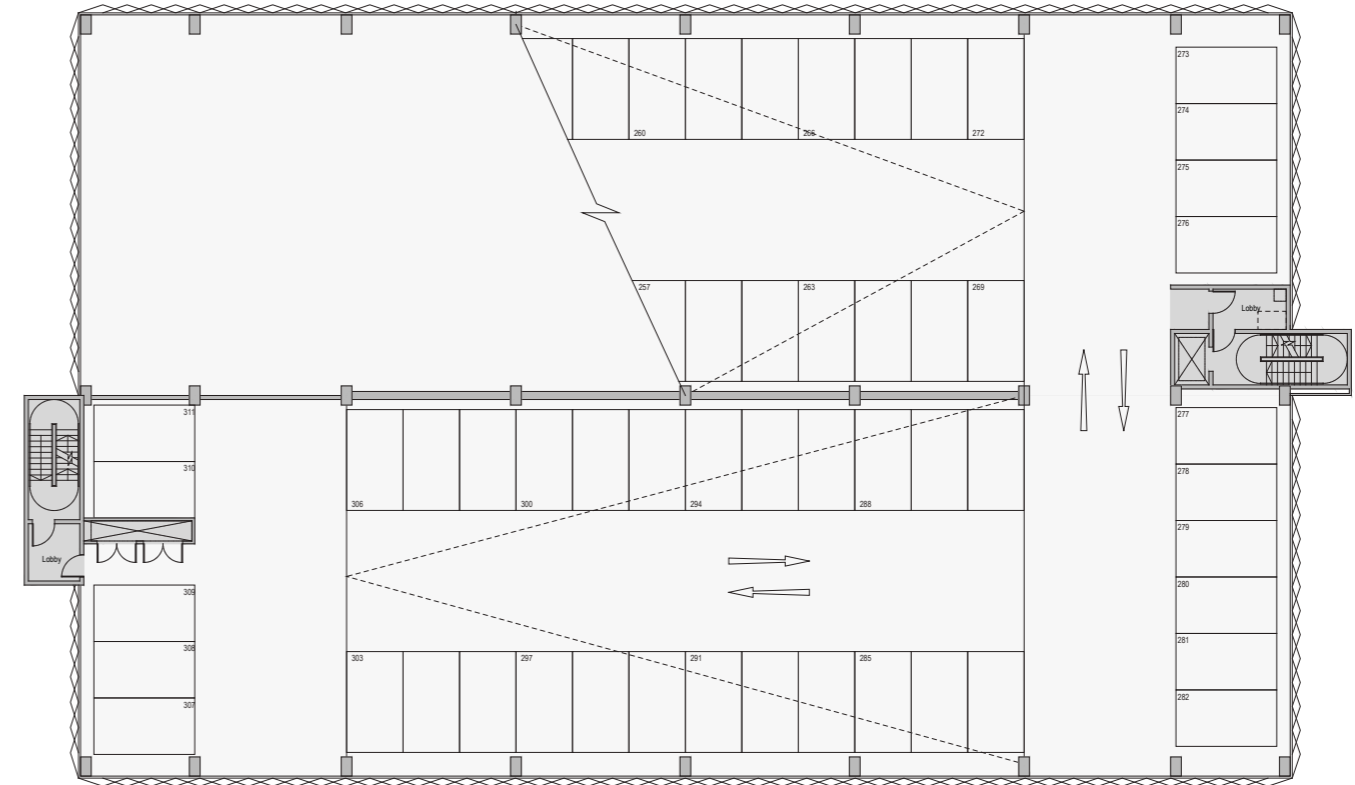


Figure 7.108 Carpark Typical Floor Plan

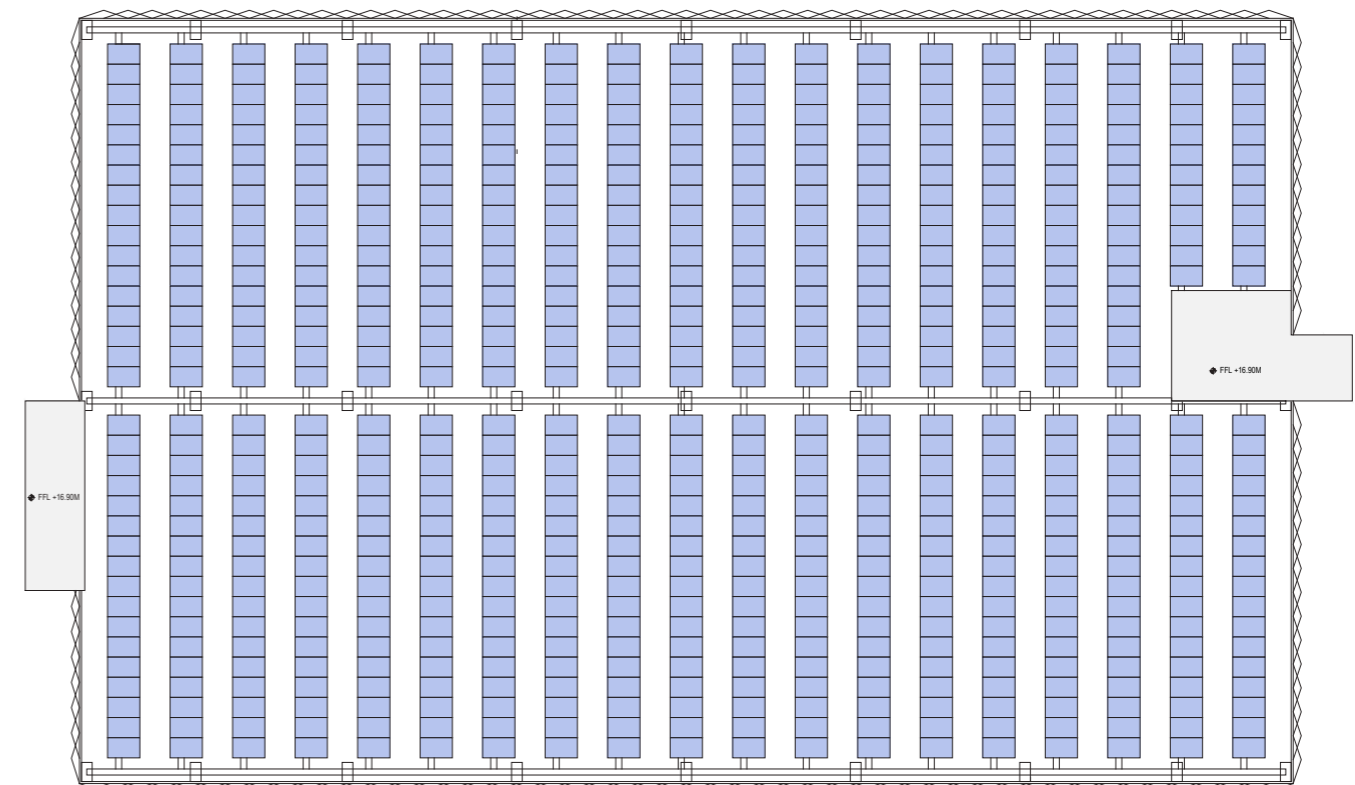


Figure 7.109 Carpark Roof Plan

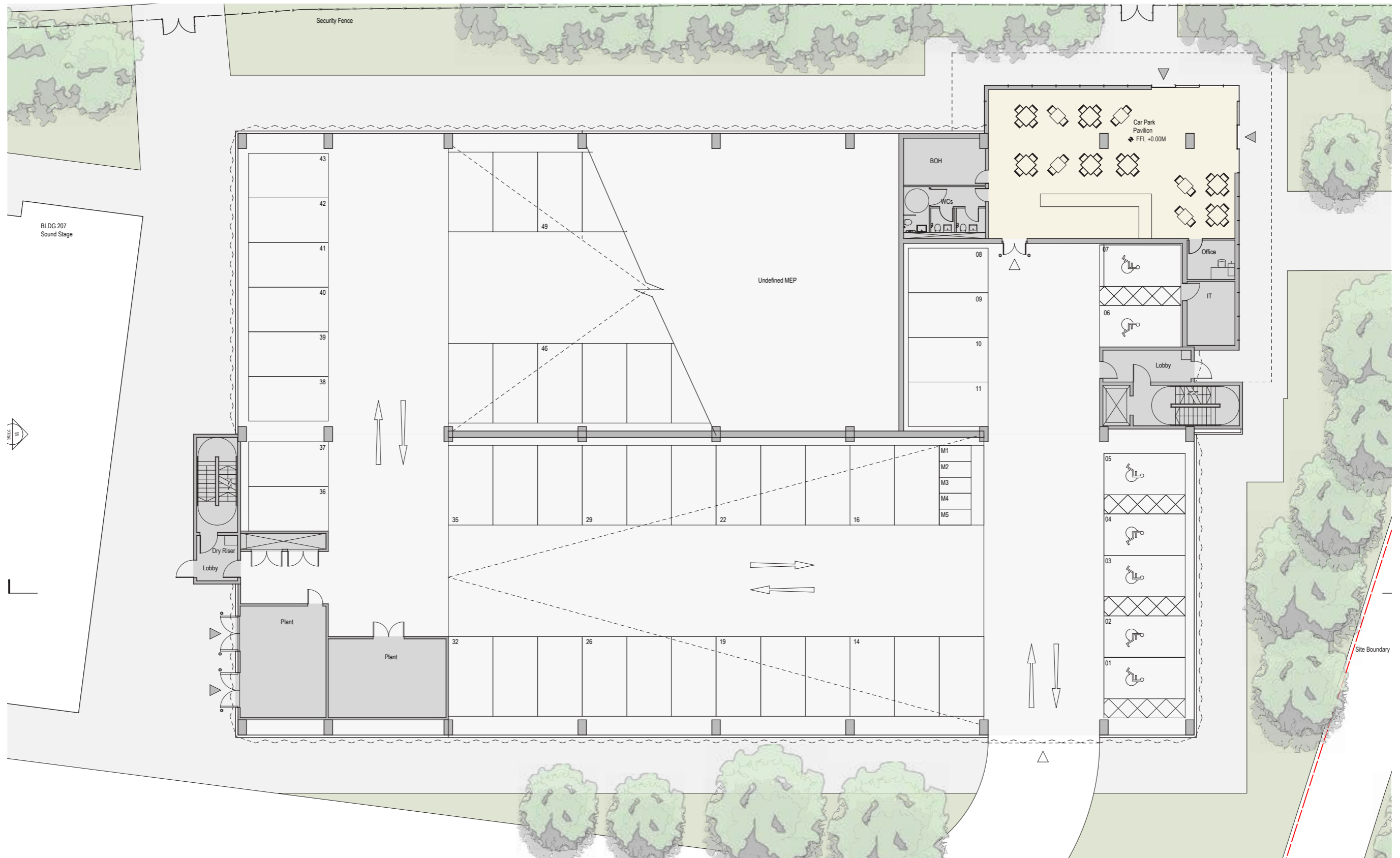


Figure 7.110 Carpark Ground Floor Plan

FACADE DETAILS

Buildings Envelope Materiality

1. Fair faced concrete
2. Metal profiled cladding
3. Metal profile flashing
4. Metal doors
5. Perforated metal profiled screen
6. Translucent cladding
7. Glazed Curtain walling, glazed doors
8. Glazed and metal clerestory windows
9. Glazed Curtain walling
10. Glazed and metal insulated Curtain walling
11. Glazed Curtain walling with integrated mesh shading
12. Glazed and timber insulated Curtain walling with timber shading
13. Timber brise-soleil
14. Metal brise-soleil
15. Metal louvre panels
16. Timber cladding to soffit and reveals
17. Metal standing seam cladding
18. Tiled roof
19. Green roof
20. Metal weather louvres
21. Roof lights
22. Glass vertical fins
23. Glass balustrade

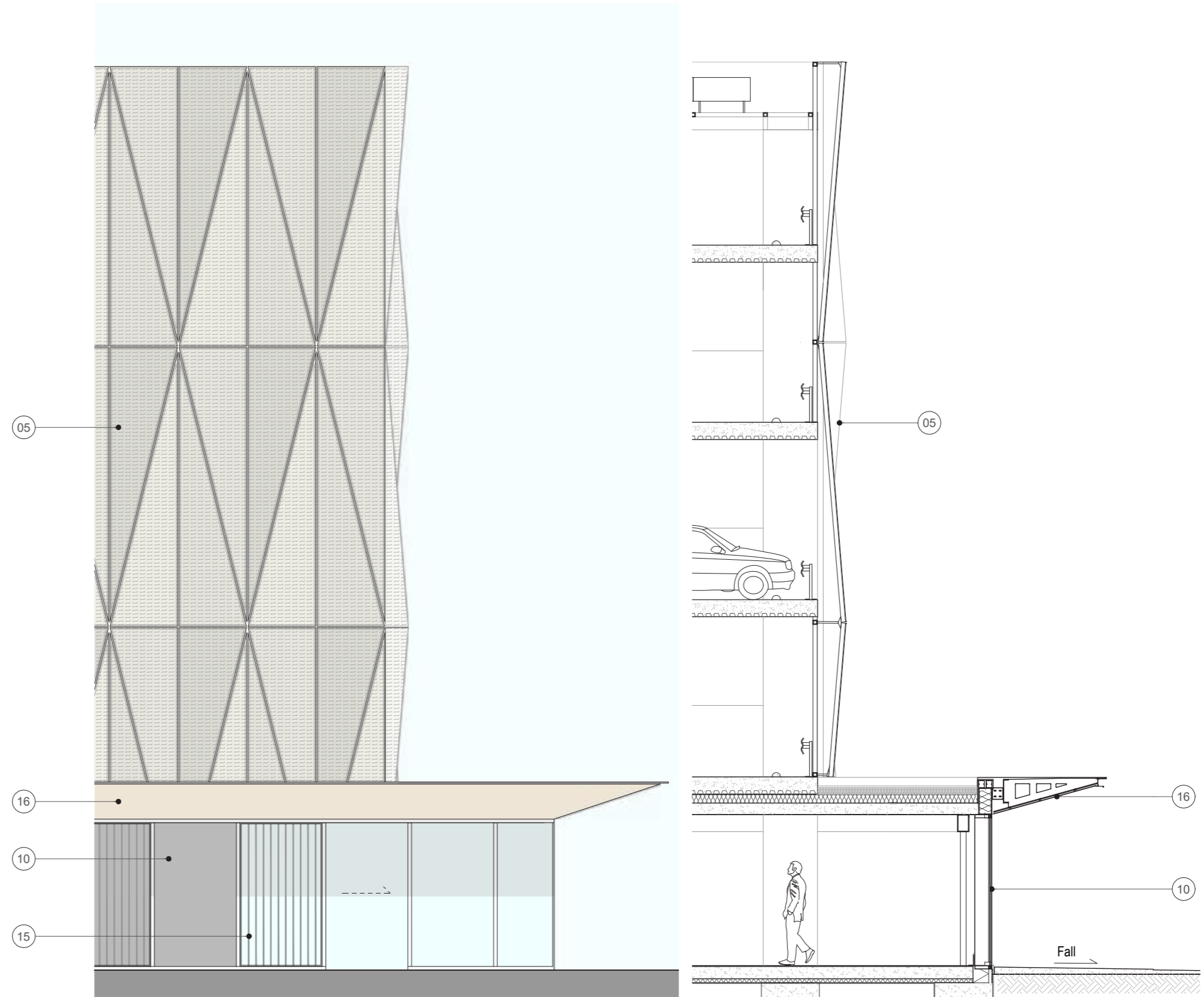


Figure 7.111 South Carpark Facade Details

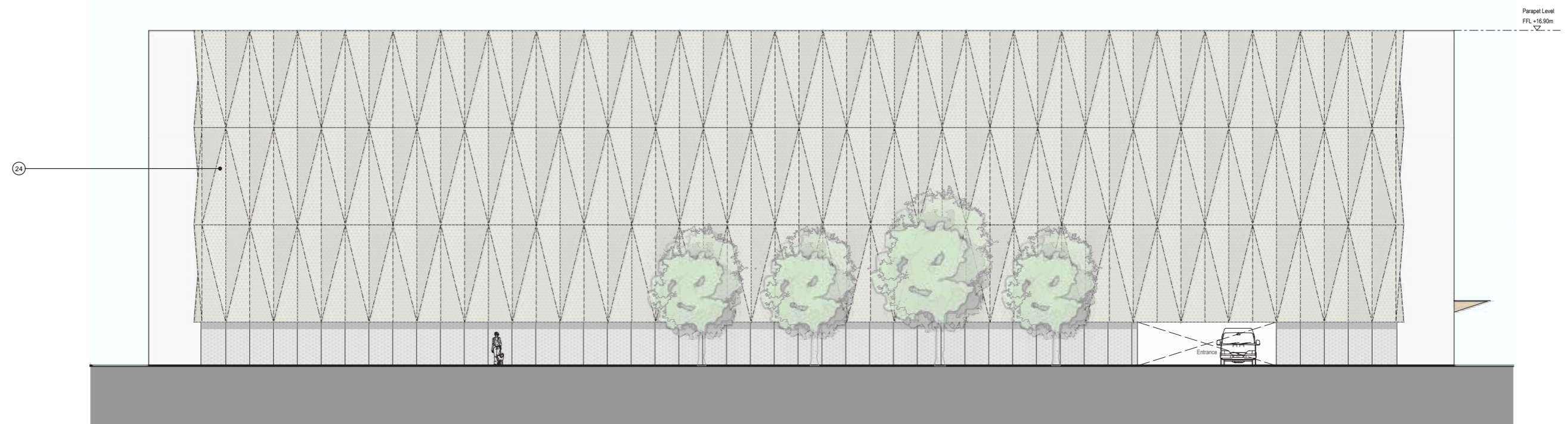
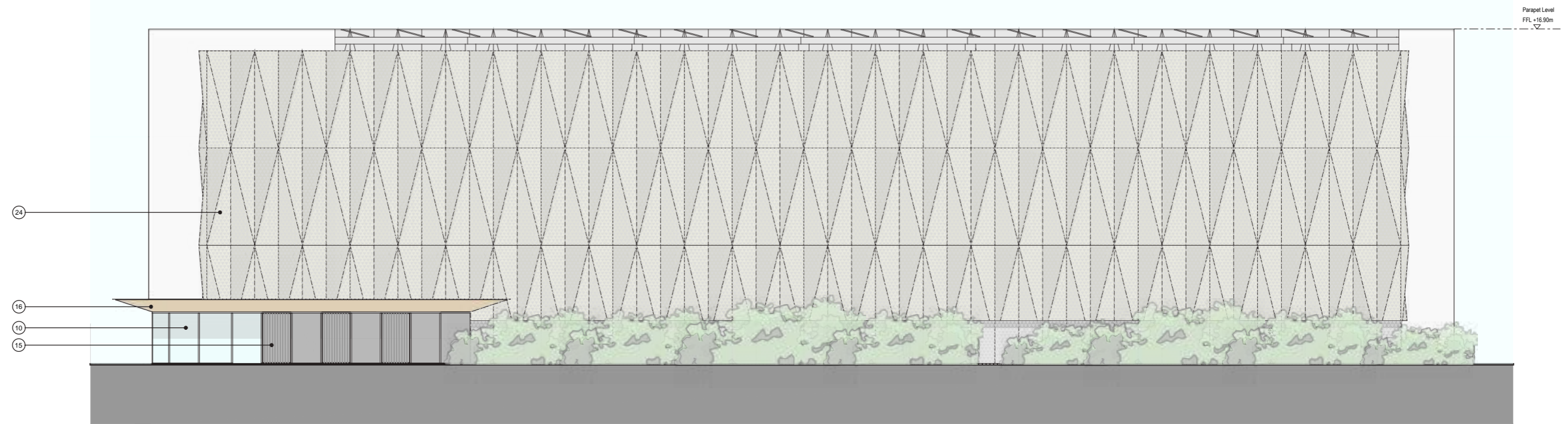


Figure 7.112 South Carpark Elevations

7.24 AMENITY PAVILIONS

The Amenity Pavilions offer the opportunity for architectural diversity. The mix of uses provides the opportunity for these buildings to be less regimented than many of the other buildings on site. The Amenity Pavilions provide an opportunity to have lively, active ground floors animating the streetscape.

They will follow a similar ethos of having good quality architectural design and the same sustainability principals as the other buildings on the site. The amenity buildings are located across the site creating the opportunity for a number of 'centres' or 'hubs' of activity rather than a single primary one.

As part of the provision of amenity across the site two pavilions are provided. These elegant, single storey, flat roofed buildings will house cafés, and as with the other amenity buildings, will provide activity and animation of the streetscape and associated outdoor space in which they are located.

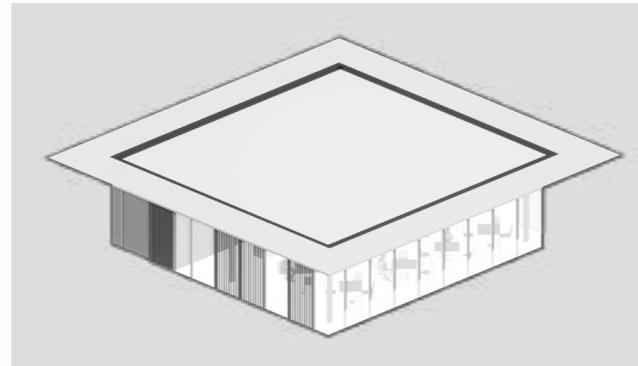


Figure 7.113 Typical Pavilion

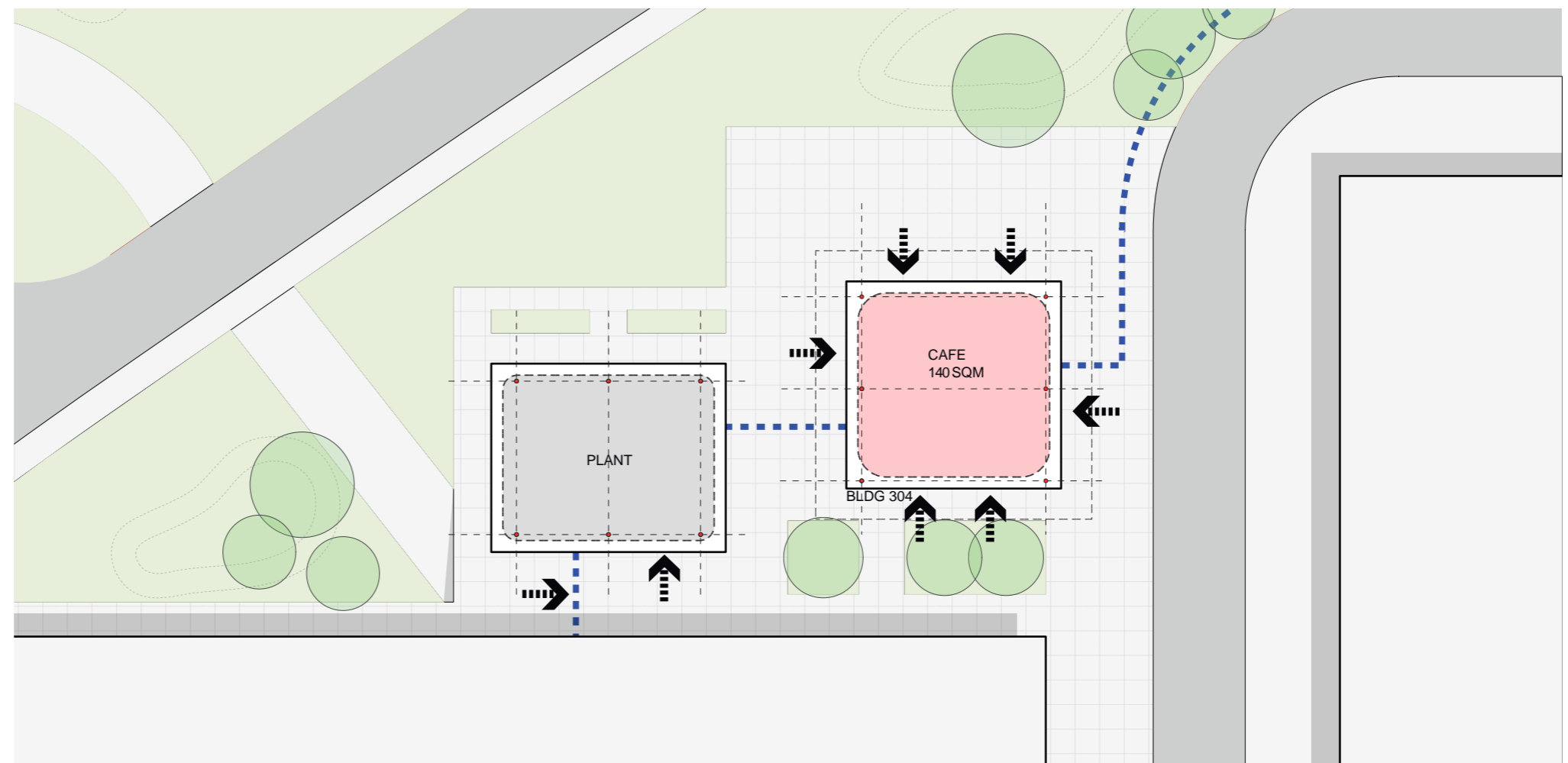


Figure 7.114 Ground Floor Plan of Cafe and Ancillary Pavilion



Figure 7.115 View

7.24.1 GENERAL LAYOUT AND FACADE DETAILS

Buildings Envelope Materiality

1. Fair faced concrete
2. Metal profiled cladding
3. Metal profile flashing
4. Metal doors
5. Perforated metal profiled screen
6. Translucent cladding
7. Glazed Curtain walling, glazed doors
8. Glazed and metal clerestory windows
9. Glazed Curtain walling
10. Glazed and metal insulated Curtain walling
11. Glazed Curtain walling with integrated mesh shading
12. Glazed and timber insulated Curtain walling with timber shading
13. Timber brise-soleil
14. Metal brise-soleil
15. Metal louvre panels
16. Timber cladding to soffit and reveals
17. Metal standing seam cladding
18. Tiled roof
19. Green roof
20. Metal weather louvres
21. Roof lights
22. Glass vertical fins
23. Glass balustrade

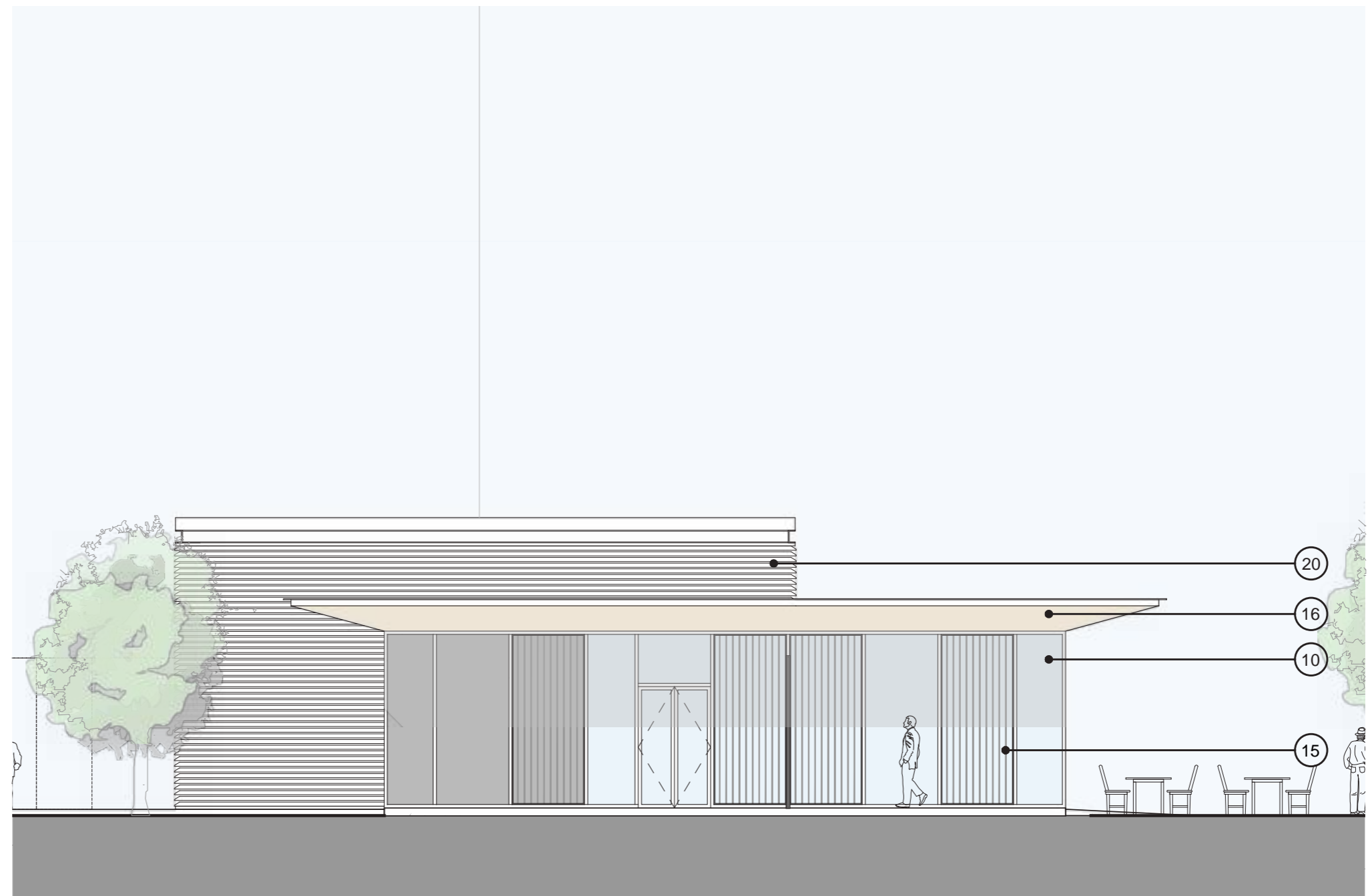


Figure 7.116 Elevation

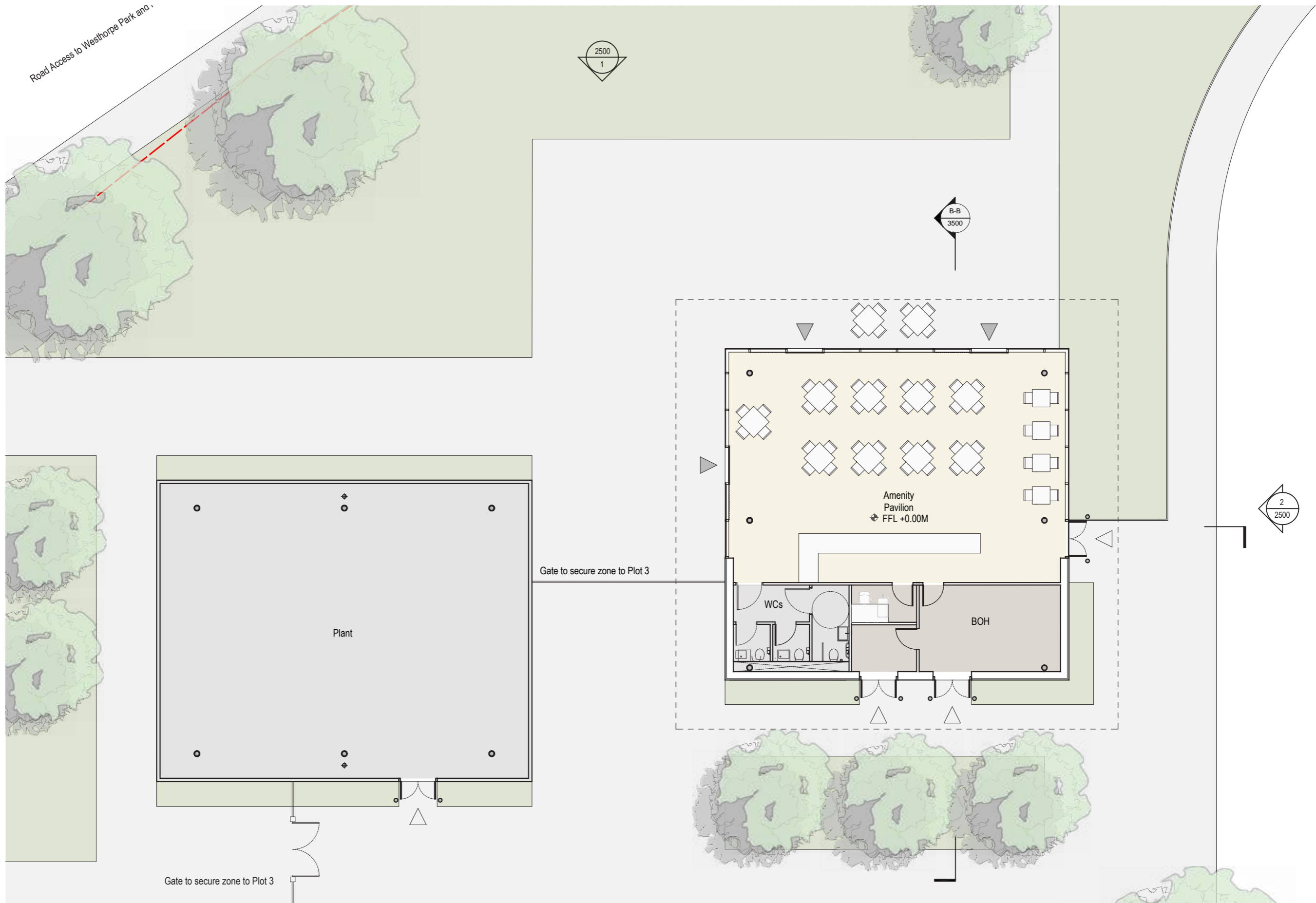


Figure 7.117 Plan of Amenity and Ancillary Pavilion

7.25 ANCILLARY PAVILIONS

Around the site there is the requirement for mechanical and electrical equipment that services the site. We have created a series of simple Ancillary Pavilions that house this kit.

They primarily consist of a weather louvre-clad box with a flat gravelled roof. We designed them to be minimal and to recede against their landscape setting. The gravelled roof will complement the green roofs of the larger sound stage buildings.

These buildings all vary in size and shape to fit the mechanical engineers requirements.

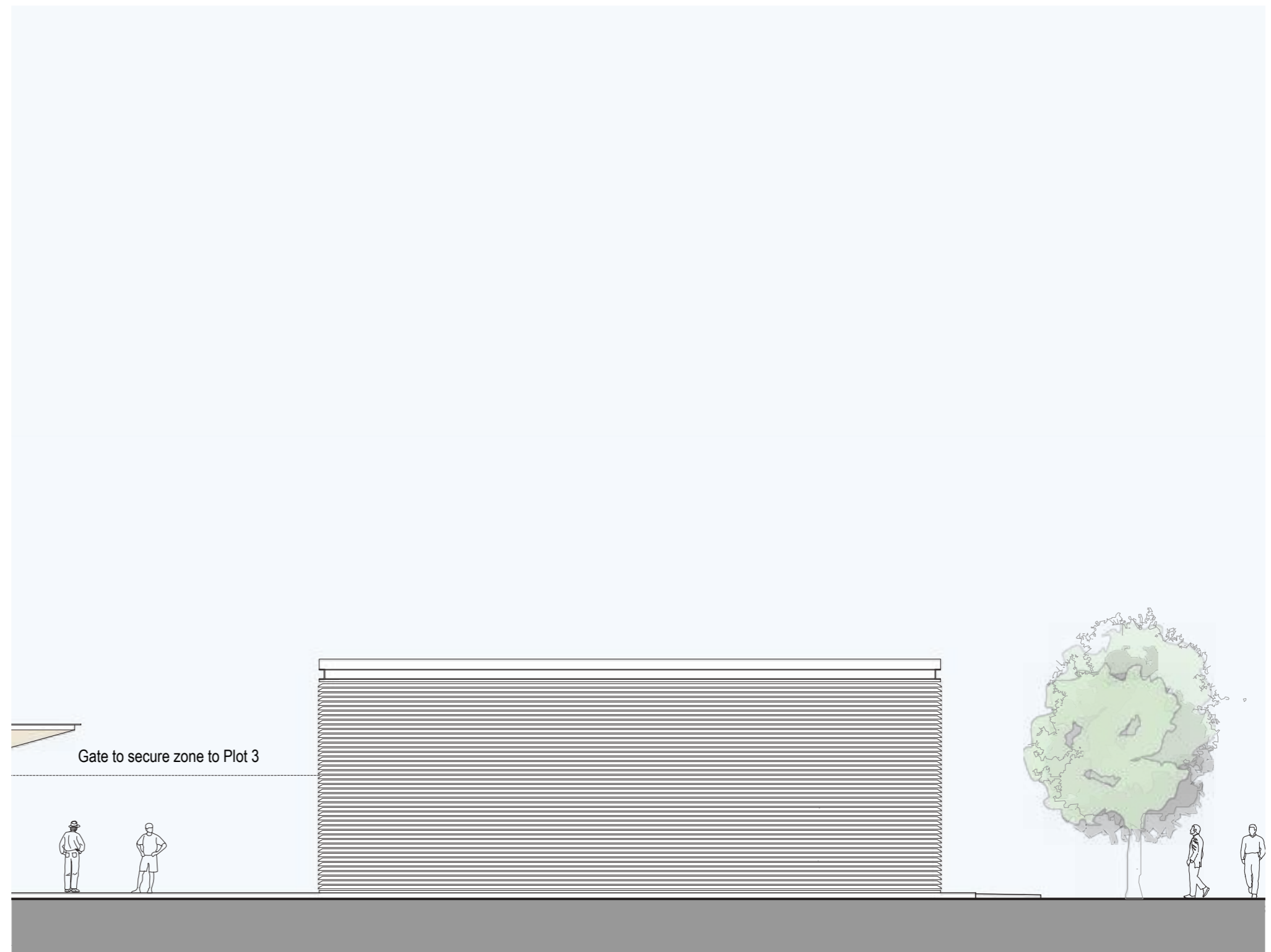


Figure 7.118 Elevation

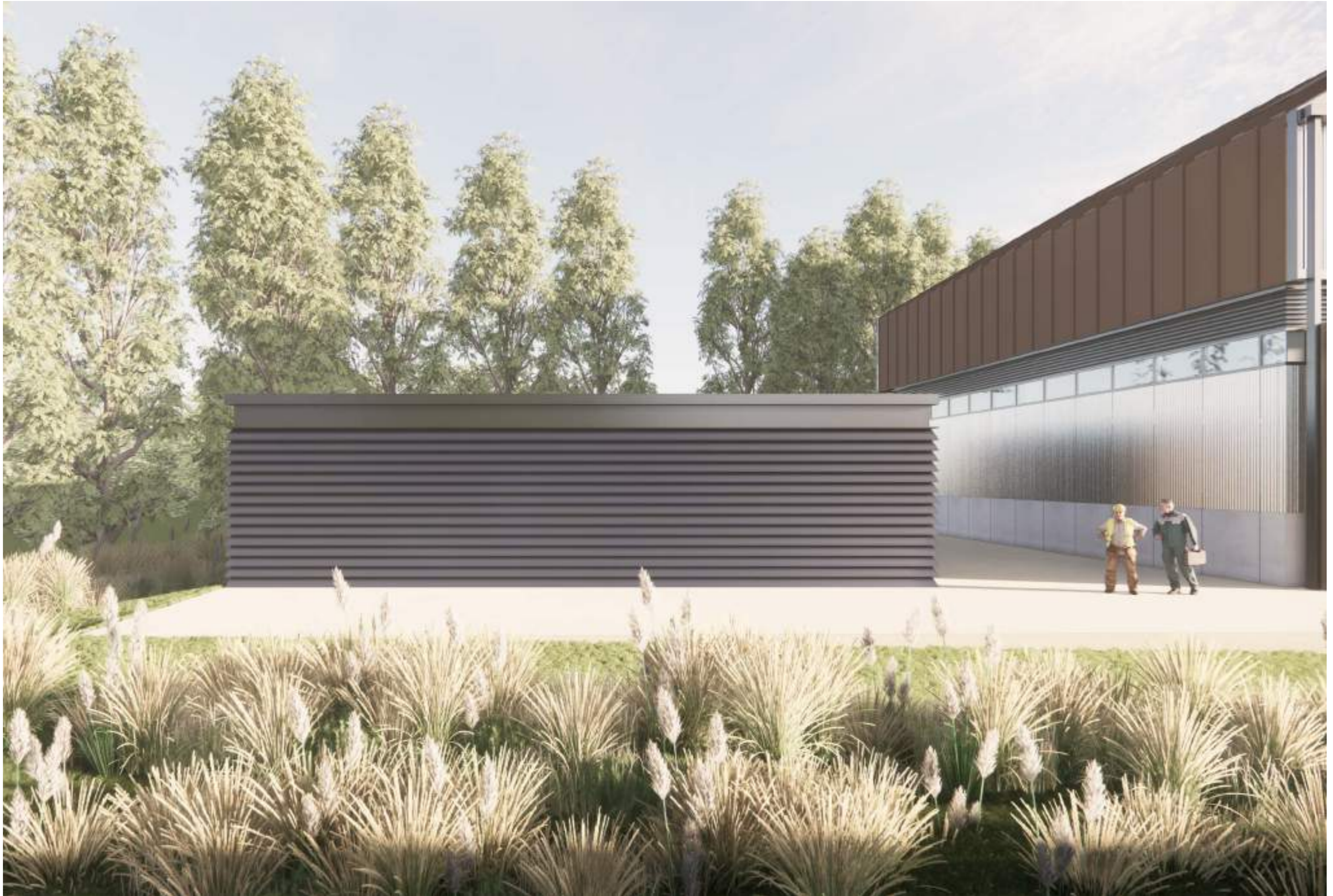


Figure 7.119 View looking North onto Pavilion

7.26 COMMUNITY BUILDING

At the southern end of the site close to Westthorpe House it is proposed to provide a building with the potential for use by the local community/residents. This is a simple elegant structure in keeping architecturally with the rest of the development.

The building has a simple pitch roof form providing a kitchen, sanitary accommodation, multiple lockable storage cupboards and a multi functional space, similar to a traditional 'village hall'.

A palette of natural/self finish materials will tie this building in with the overall development and the building's natural setting.

The building will be set within a hard landscaped area allowing for functions to spill out when appropriate.

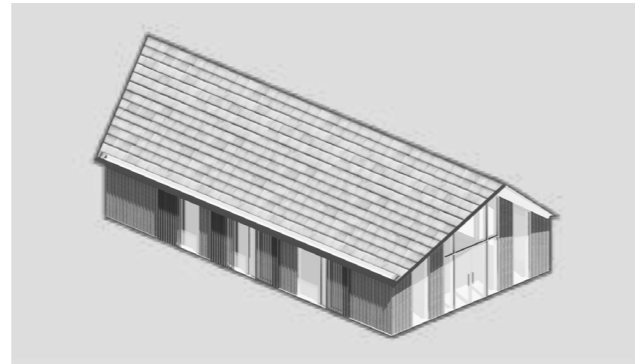


Figure 7.120 Axonometric

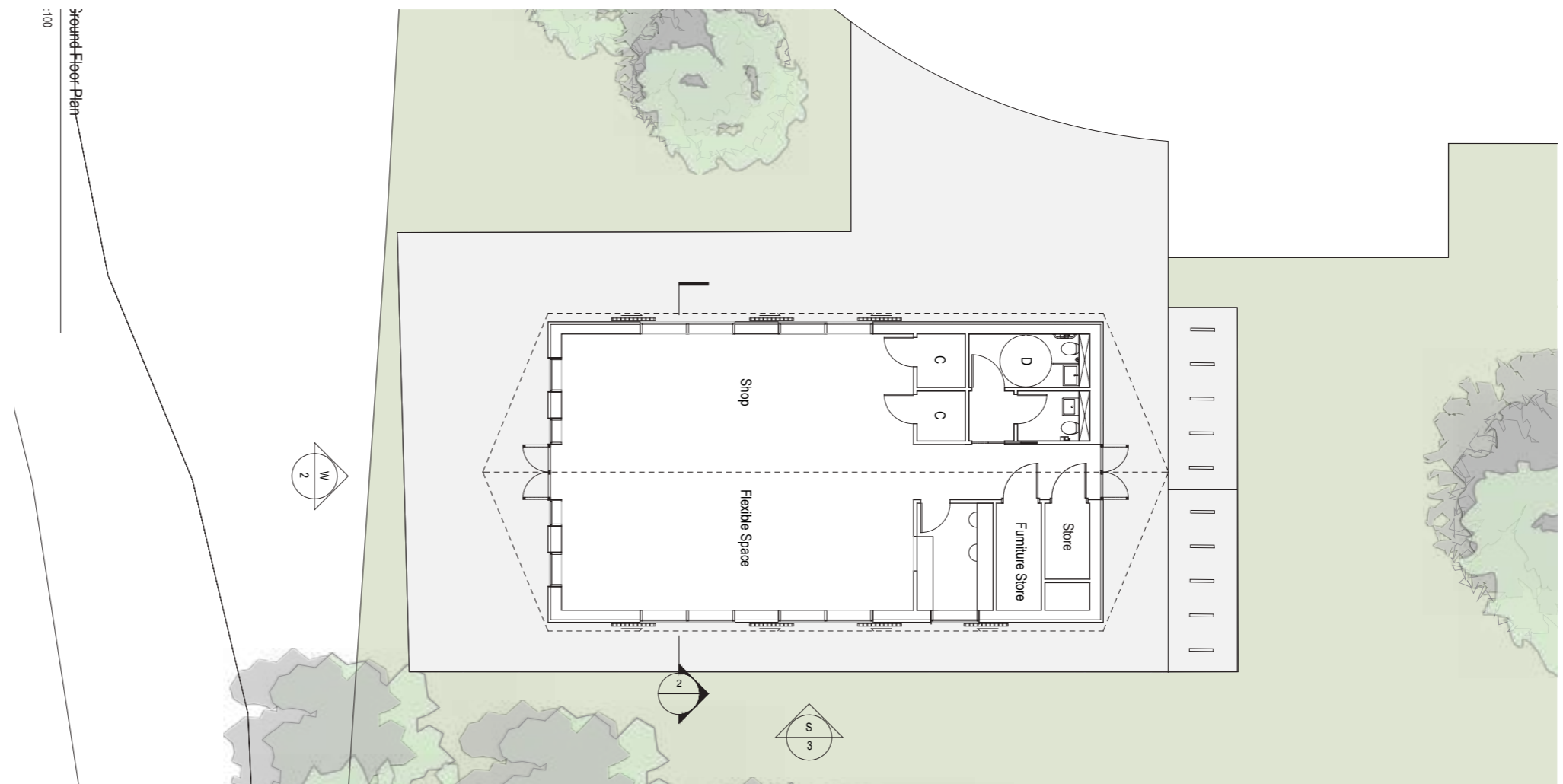


Figure 7.121 Plan



Figure 7.122 View from the South East

7.27 ENTRANCE CANOPY

The site is entered from the north from the A4155. A terrace of pitched roof workshops and offices edge the northern part of the site and the main access and egress route runs between two of these buildings.

The entrance is signified by a tensile structure that forms a canopy between the buildings. The canopy is formed by a membrane stretched across a steel support structure creating a dynamic sculptural form that is a counterpoint to the rectilinear buildings that it sits between.

The membrane will be uplit, providing a soft glow to signify the entrance at night.

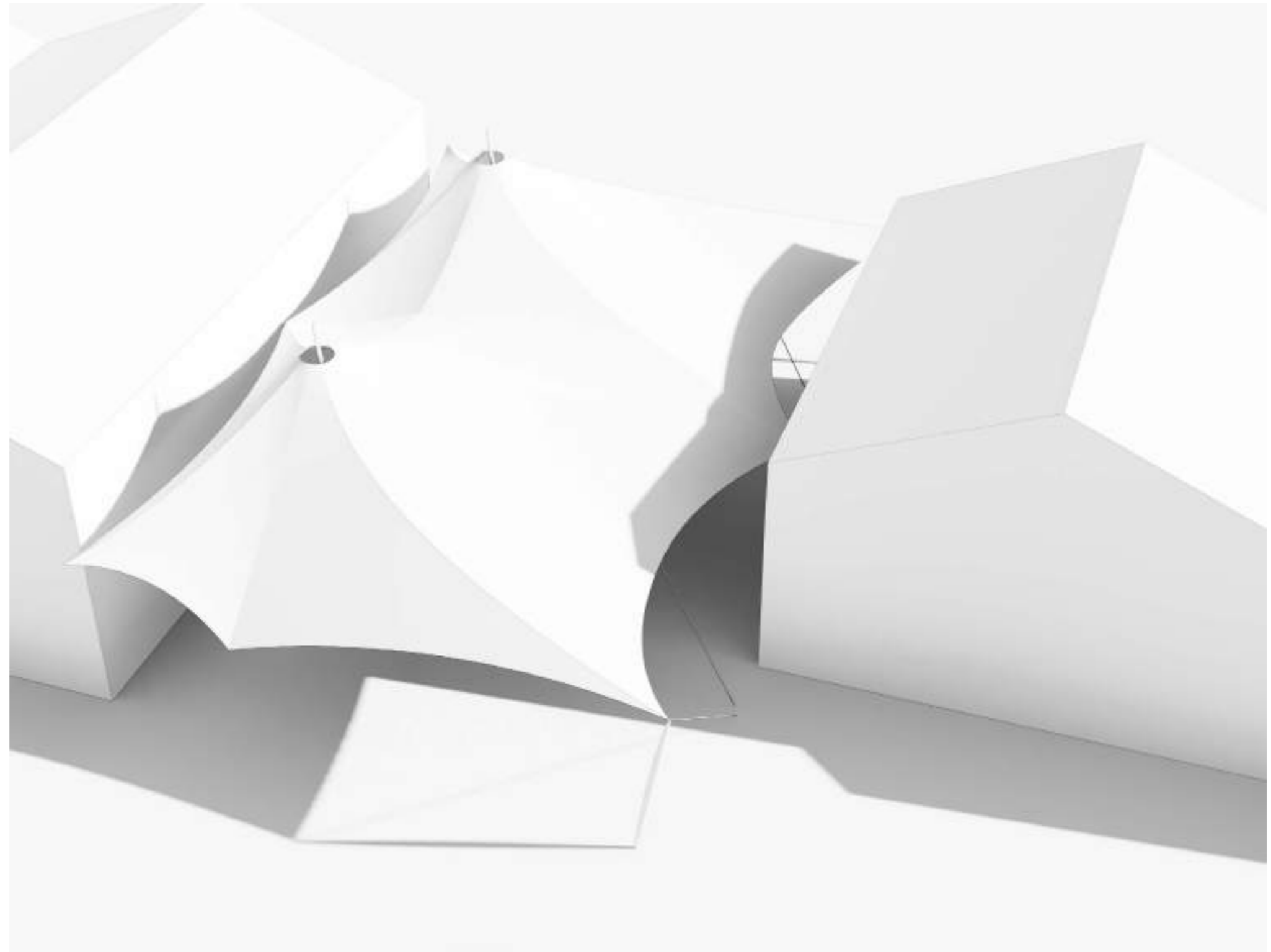


Figure 7.123 3D View of Canopy



Figure 7.124 View of Main Entrance from the North

7.28 PUBLIC ART OPPORTUNITY

On the western edge of the site a vertical structure is proposed that offers the opportunity for a collaboration with an artist.

The suggested form seeks is inspired on the water towers often found on the great US film studios. Being visible from the A404 that runs along the western edge of the site, the structure will be a point of interest and indirectly aid wayfinding by acting as a landmark for the development and the urban setting of Marlow.

This structure also gives the development an opportunity for art installations to become a part of it, similar to the Fourth Plinth in Trafalgar Square.



Figure 7.125 Sculpture at Longcross Studios



Figure 7.126 Warner Brothers Water Tower



Figure 7.127 The Fourth Plinth



Figure 7.128 Elevation



Figure 7.129 View along the Western Edge from the opposite site of the A404



Figure 7.130 View along the Western Edge along the A404

7.29 ACTIVITY HUBS

The quality of a development is a combination of the design quality of the buildings and the spaces between those buildings. The proposal establishes a hierarchy of spaces between the buildings where some prioritise pedestrians over vehicles and with 'hubs' of activity and amenity located around open landscaped areas. The activity hubs are spaces where activity from the adjacent buildings, such as cafés and bars, can spill out and activate the space itself. A number of 'hubs' are configured across the site, rather than being focused in one building.

The buildings around the Entrance Square have a good proportion of glazing making them open and welcoming with good levels of activity around them.

The Studio Hub sits at the southern end of the main pedestrian route that runs north-south virtually the length of the main development area. The route terminates in an open landscape space that is formed by the Studio Hub building that wraps around the southern side of the space. This main entrance into the Studio Hub building is off this space while amenity space such as cafés and restaurants on the ground floor of the Studio Hub will be able to open out into the space. The space itself offers greater visual privacy to the general public than Entrance Square.

It is anticipated that all external spaces could be configured for external events such as screenings, or other events celebrating the film industry and the activities that take place within the development. Both spaces offer the opportunity for events that might also involve the general public.

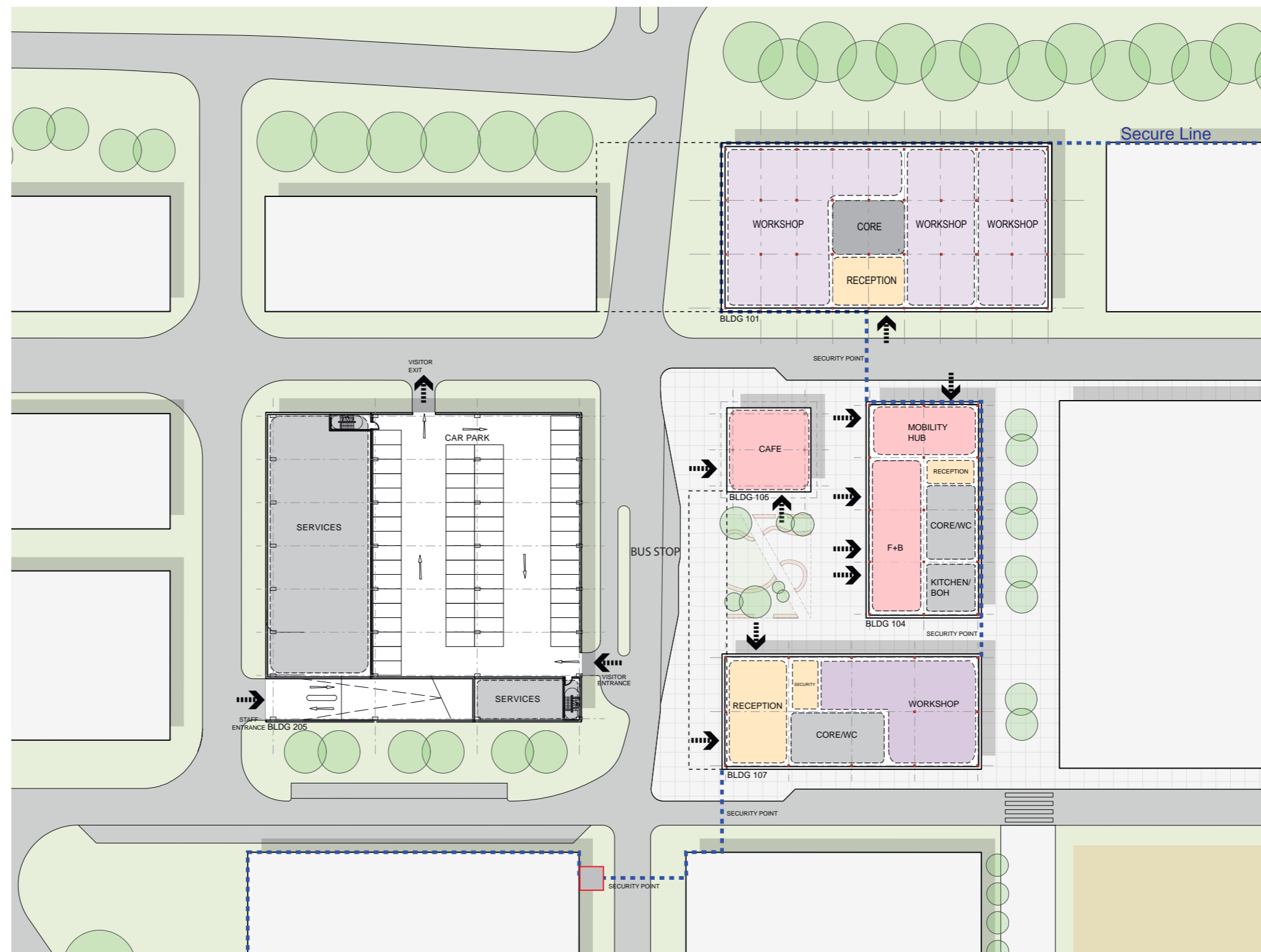


Figure 7.131 Plan Diagram at the Main Entrance

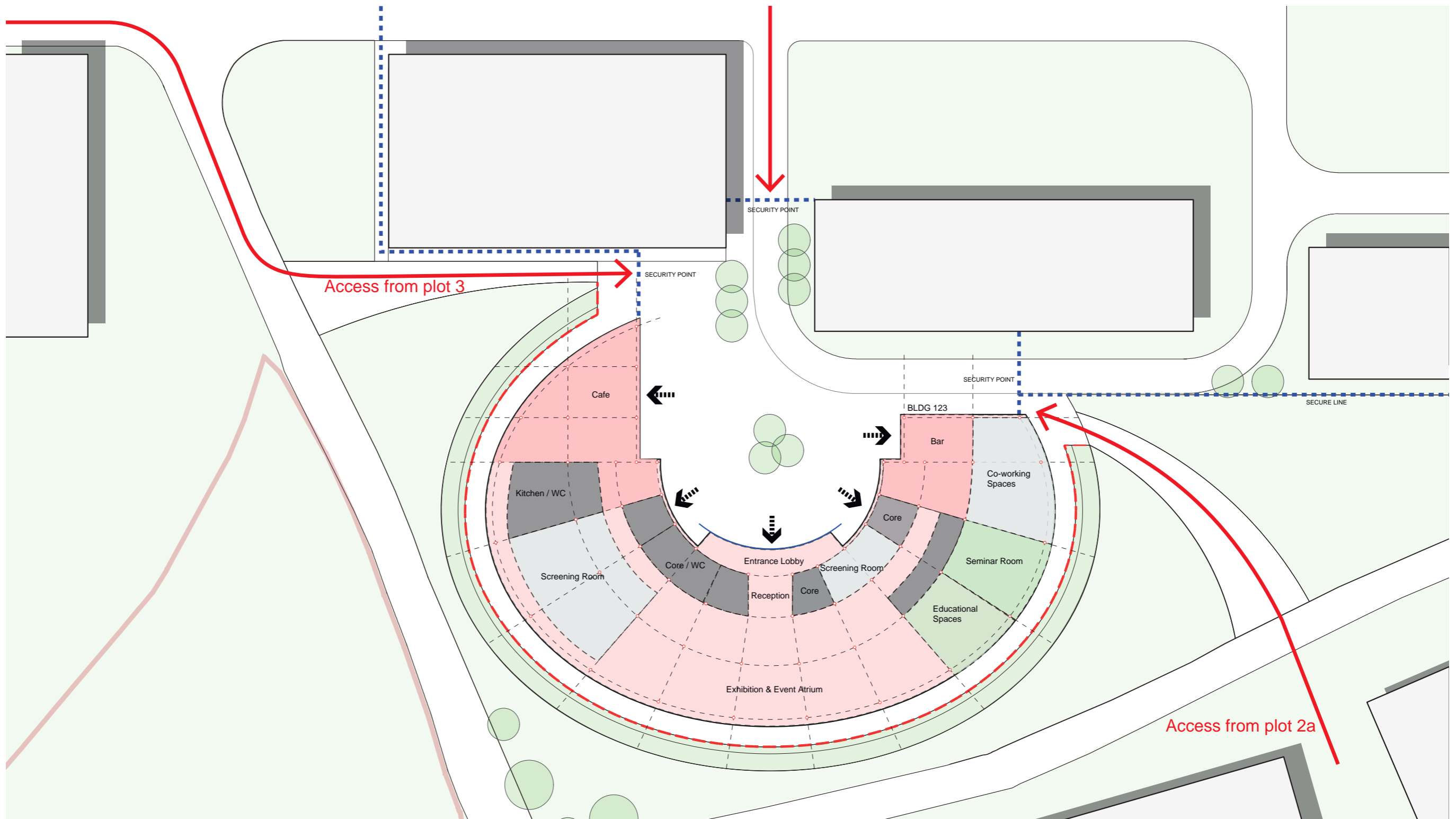


Figure 7.132 Plan Diagram of Studio Hub

7.30 ENTRANCE SQUARE

This space is located close to the main entrance and Northern Multi-Storey Carpark where visitors and the majority of occupiers will park. The area sits outside the secured area of the development and so it is accessible to the public. This space has buildings around it that house the main security point where visitors and new workers need to register/sign in. It also includes an Amenity Pavilion hosting a café and Mobility Hub that houses cycling facilities, showers, changing rooms, crèche, fitness and health facilities.



Figure 7.133 View onto Entrance Square from the West



Figure 7.134 Physical Model of Entrance Square

PLANS

The Entrance Square consists of three buildings which surround a landscaped square. This space welcomes and manages visitors and tenants to ensure only registered users can access the secure areas. The smaller building is a single storey pavilion, that houses an Food and Beverage unit.

The other two larger buildings are two storeys high. The building to the upper side of the opposite page plan is the Mobility Hub; architecturally it has similar massing as the office and workshop type 2 - a saw-tooth roof. The ground floor hosts several 'end of trip' facilities such as showers and changing facilities, with the opportunity to provide e-scooter and cycle parking. There is also a large Food and Beverage unit at ground floor. At Level 1, several other site-wide amenities are located, such as health and crèche facilities.

The building framing the Entrance Square to the south, architecturally has similar massing to the office and workshop type 1 - pitched roofs. The ground floor is double-height, housing the main reception and security point for the development. This double-height space is an opportunity for showcasing art objects and exhibits. There is also a workshop located in this building, with the same requirements as the site-wide workshops. On the upper level, other site-wide amenity and office spaces are located.

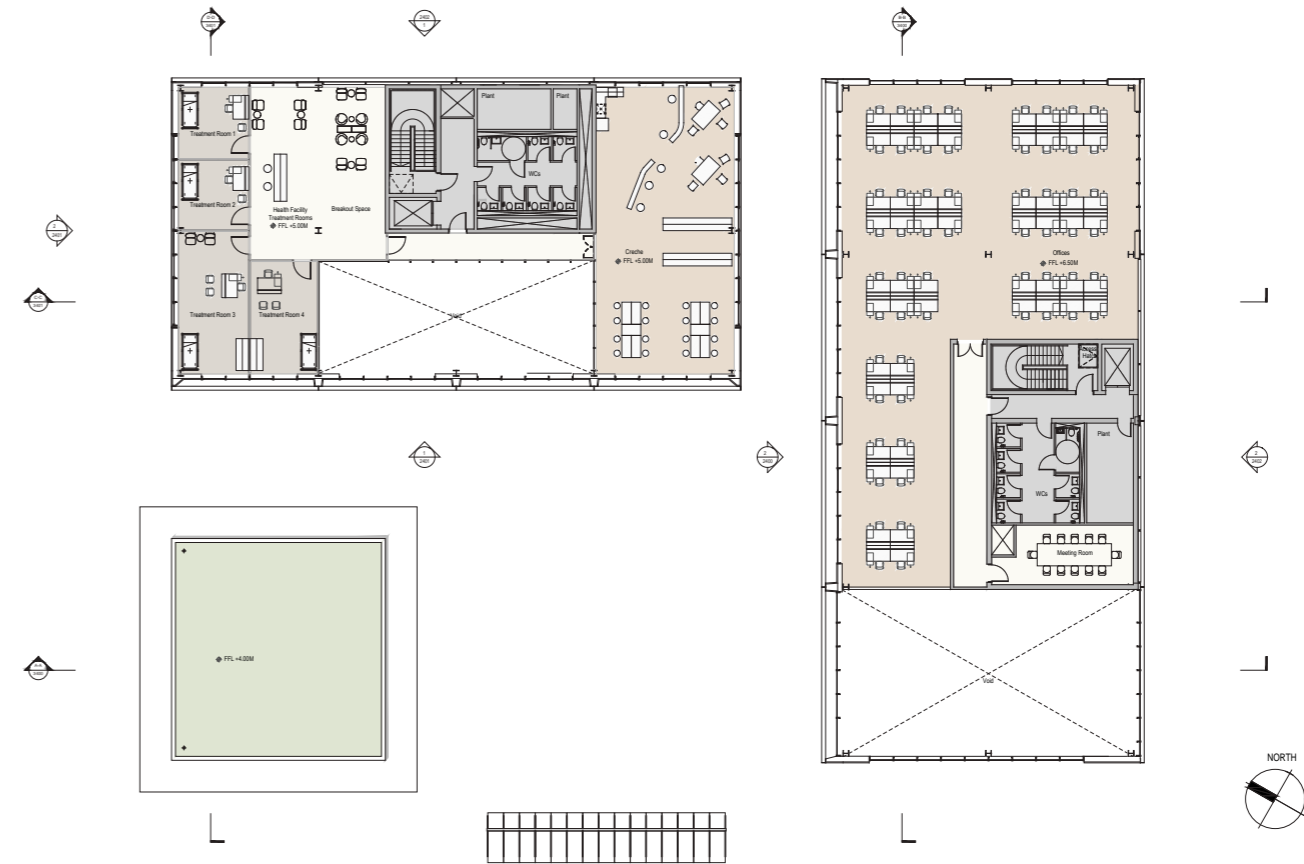


Figure 7.135 First Floor Plan of Entrance Square

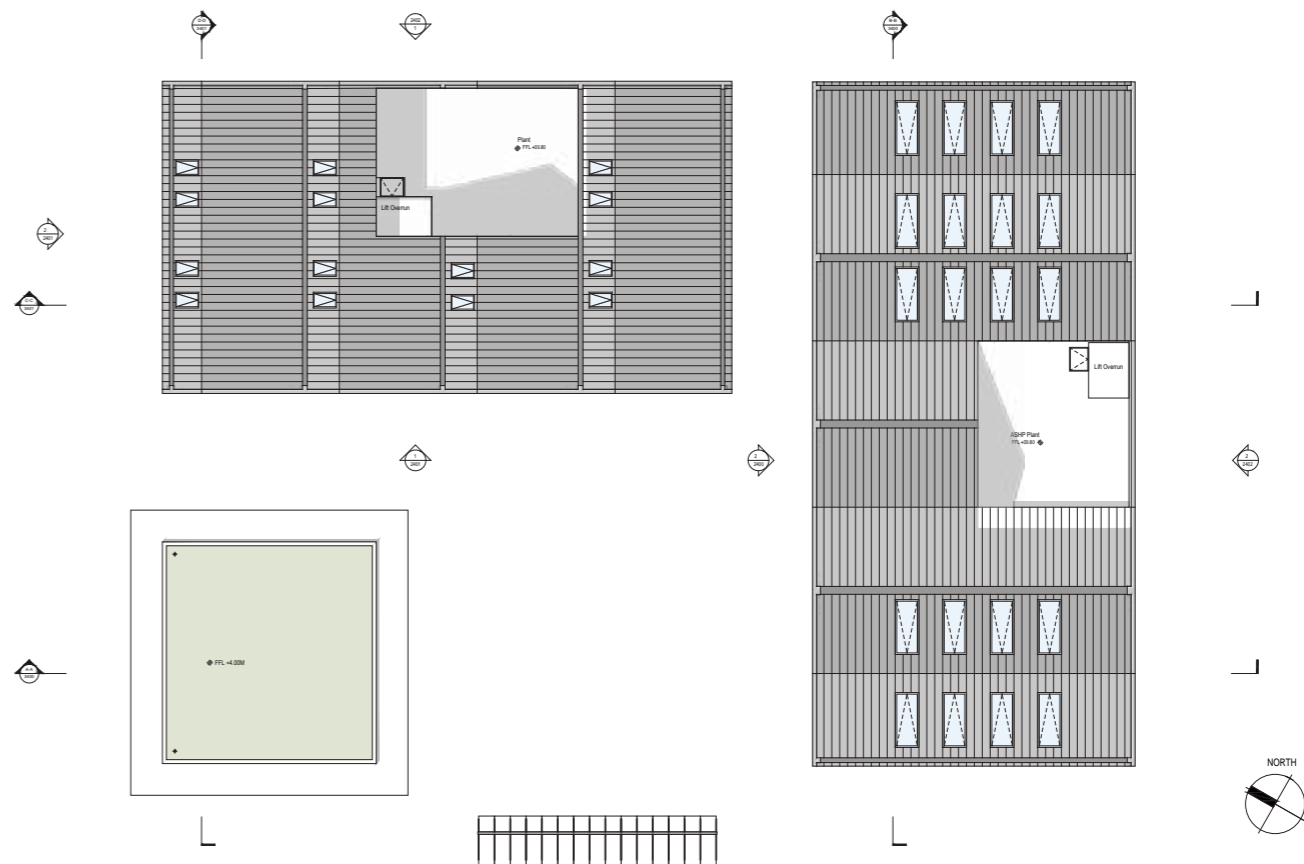


Figure 7.136 Roof Plan of Entrance Square

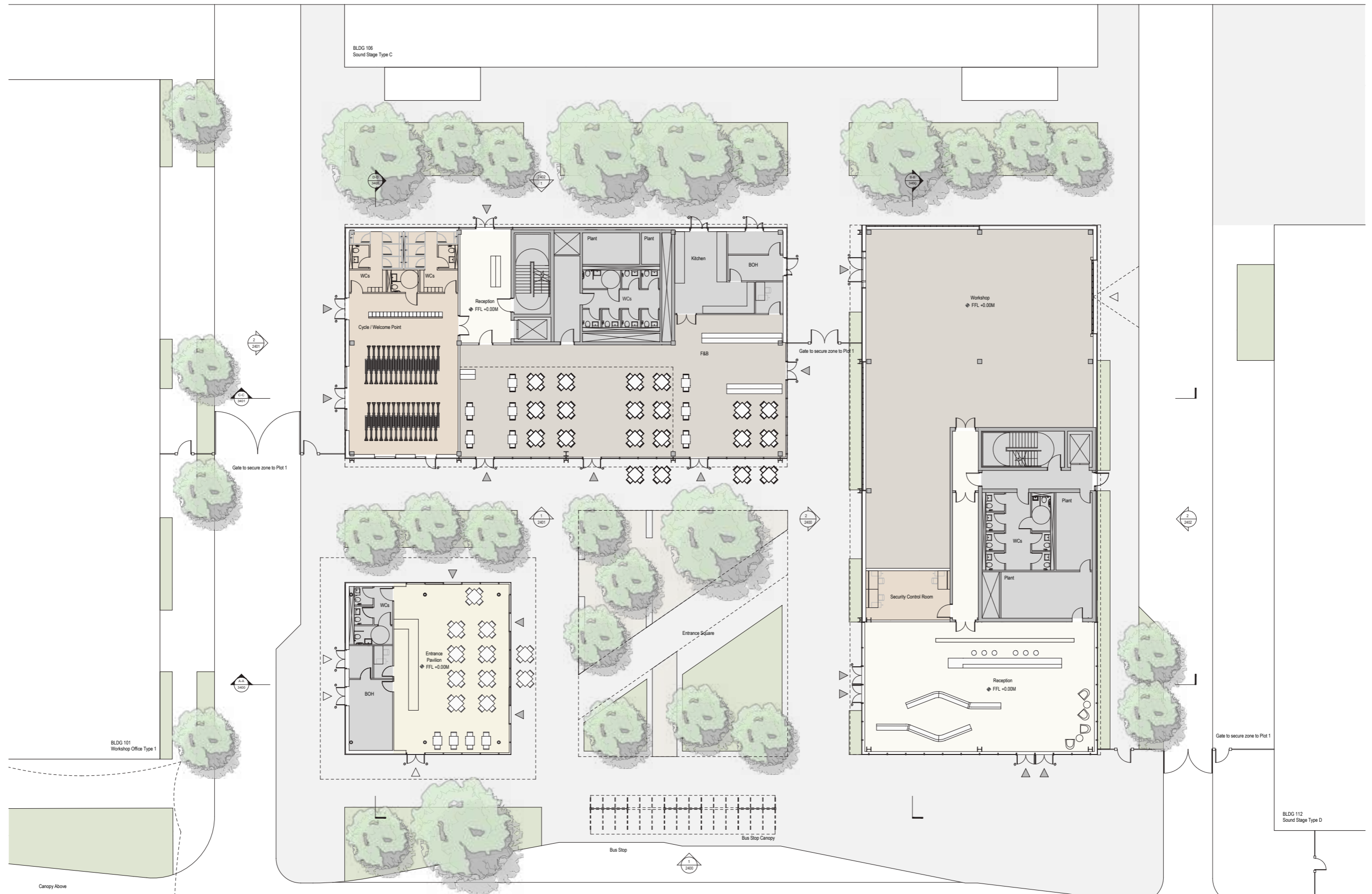


Figure 7.137 Ground Floor Plan of Entrance Square

FACADE DETAILS

Buildings Envelope Materiality

1. Fair faced concrete
2. Metal profiled cladding
3. Metal profile flashing
4. Metal doors
5. Perforated metal profiled screen
6. Translucent cladding
7. Glazed Curtain walling, glazed doors
8. Glazed and metal clerestory windows
9. Glazed Curtain walling
10. Glazed and metal insulated Curtain walling
11. Glazed Curtain walling with integrated mesh shading
12. Glazed and timber insulated Curtain walling with timber shading
13. Timber brise-soleil
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21. Roof lights
22. Glass vertical fins
23. Glass balustrade

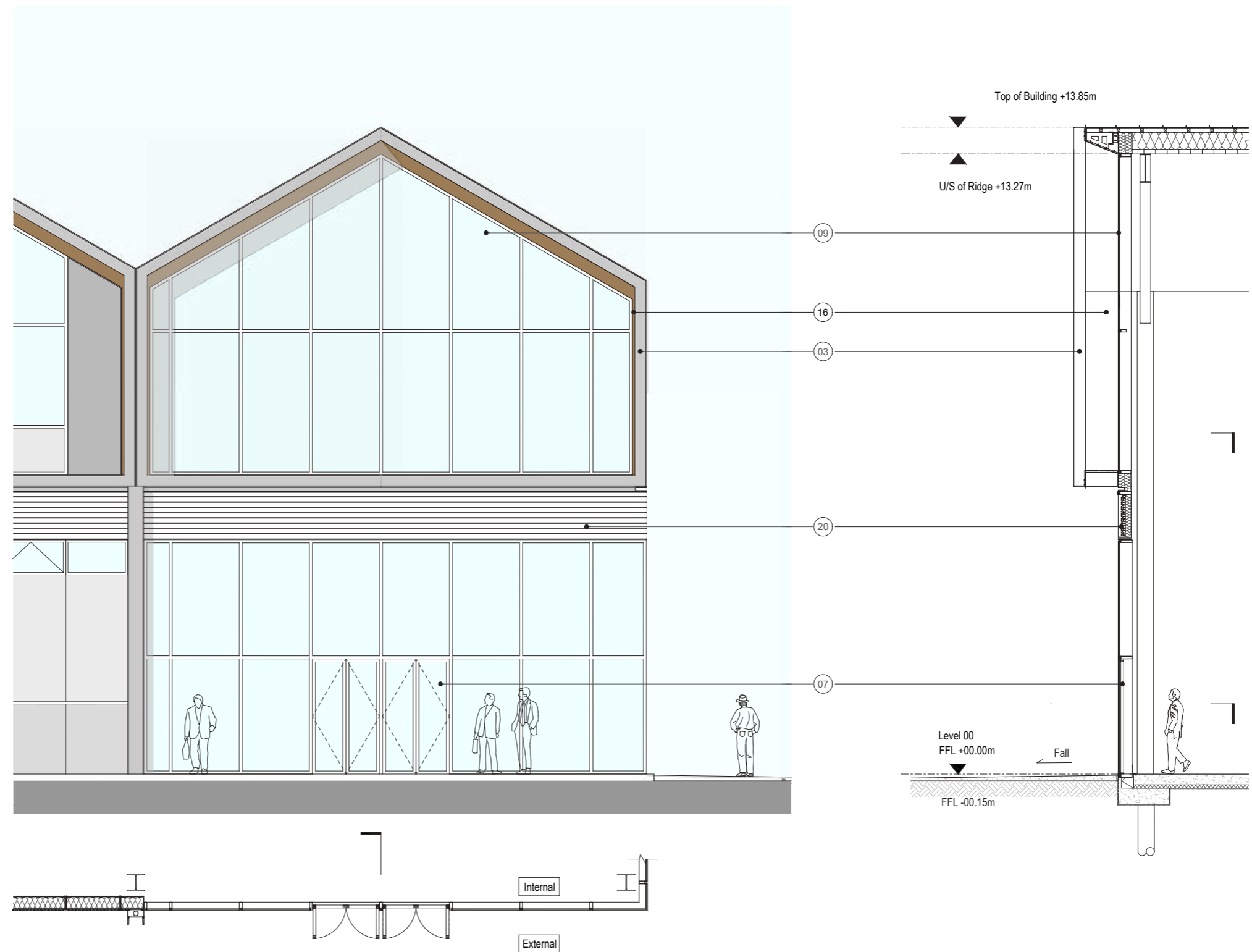


Figure 7.138 Facade Detail of Entrance Square

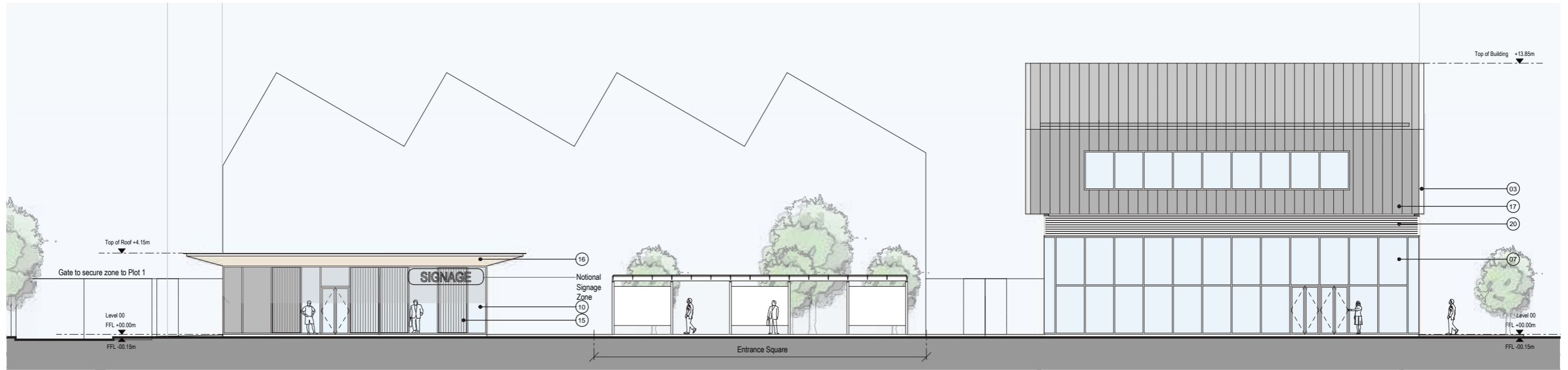


Figure 7.139 Elevations of Entrance Square

7.31 STUDIO HUB

The Studio Hub will be a primary point of focus for the site and in particular for those visiting. The quality of the architectural design recognises the importance and hierarchy of this building within the overall scheme and its landscape setting. The building houses screening rooms, exhibition space, cafés, restaurants and HQ office accommodation. The elliptical form of building footprint sets the building apart visually from the rectilinear forms of the other buildings on the site. The sculpted form of the building with its raking upper level and distinctive mullions arrayed around the main elevation will create a distinct point of visual interest particularly for the public using the Public Right of Way that cross through the development. The building is intended to be representative of the development as a whole reflecting its truly creative environment and the values that underpin the overall ethos of the development; Economy & Training, Design, Sustainability and Ecology.

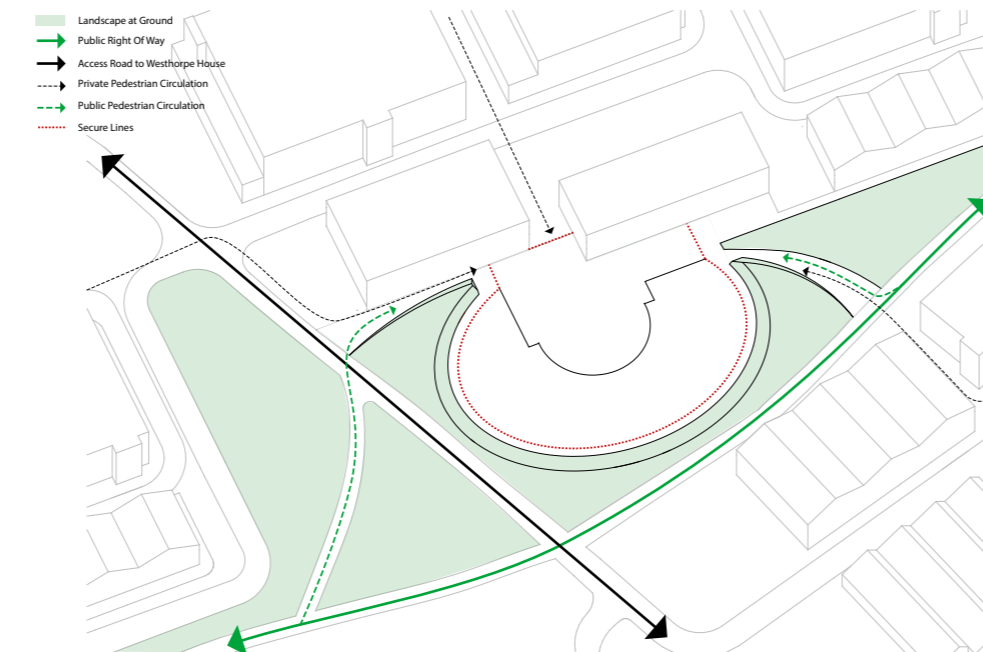


Figure 7.140 Private Public Separation

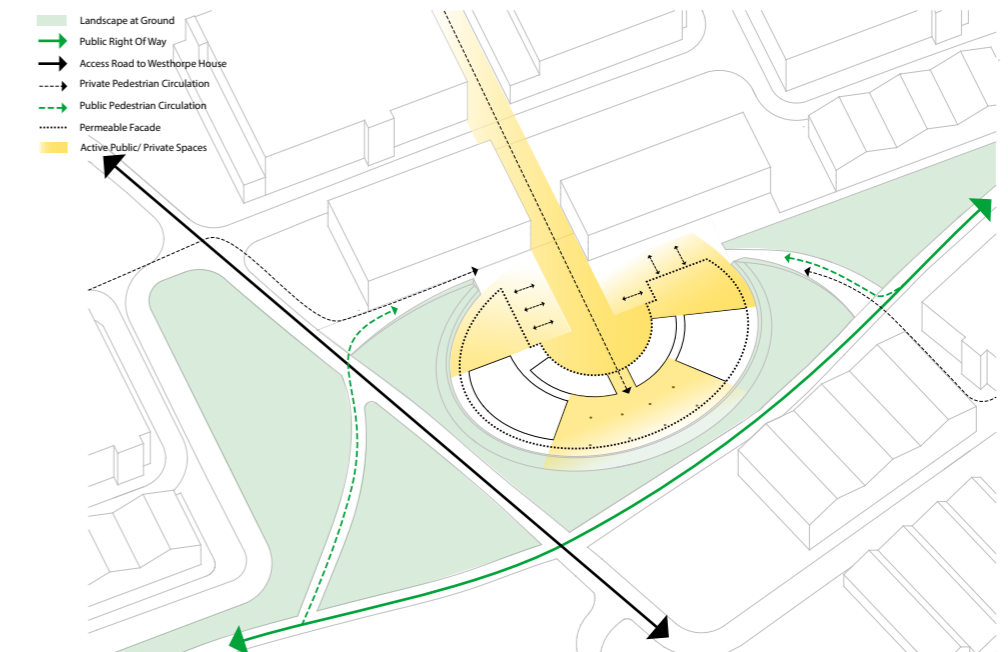


Figure 7.141 Place-making and Activation

The building sits at the southern end of the drive to Westhorpe House. The Studio Hub is configured with its main entrance on its northern side accessed from a piazza that the building wraps around. There is an extensive programme of amenity within the building by way of cafés restaurants and landscaped external space. Provision will be made for functions within the building to open out onto and activate these external spaces both at ground and roof level.

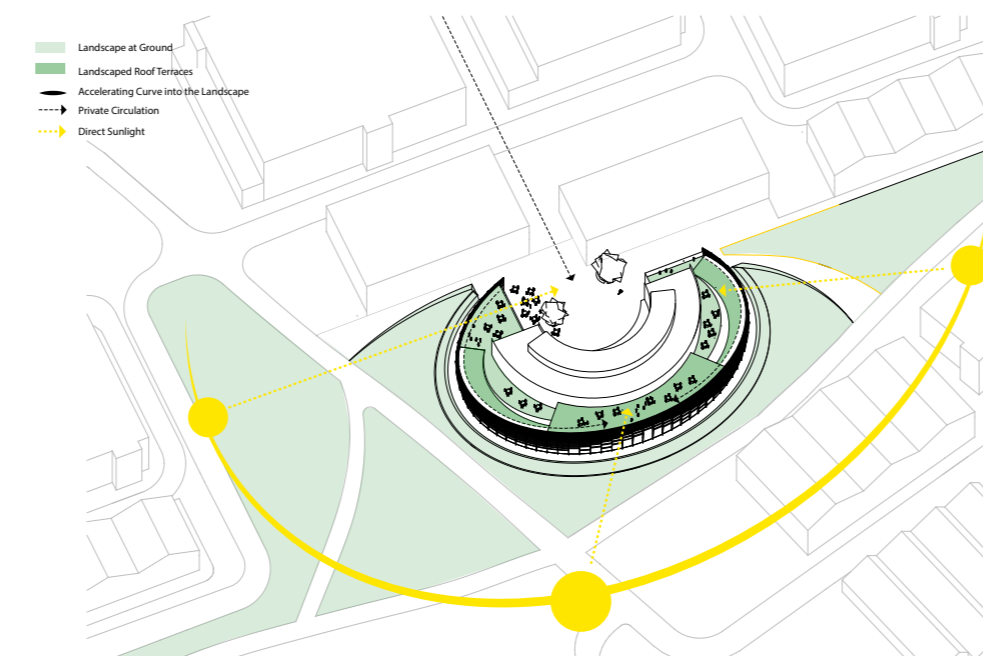


Figure 7.142 Landscape Integration

Another key aspect of this building is in support of the film-making functions that take place on the site. The building will house admin offices for the site as a whole but also production offices for the films being made. In support of this, there will also be auditorium space for screenings and multi-function space for exhibitions and events related to the launch of productions made on the site.

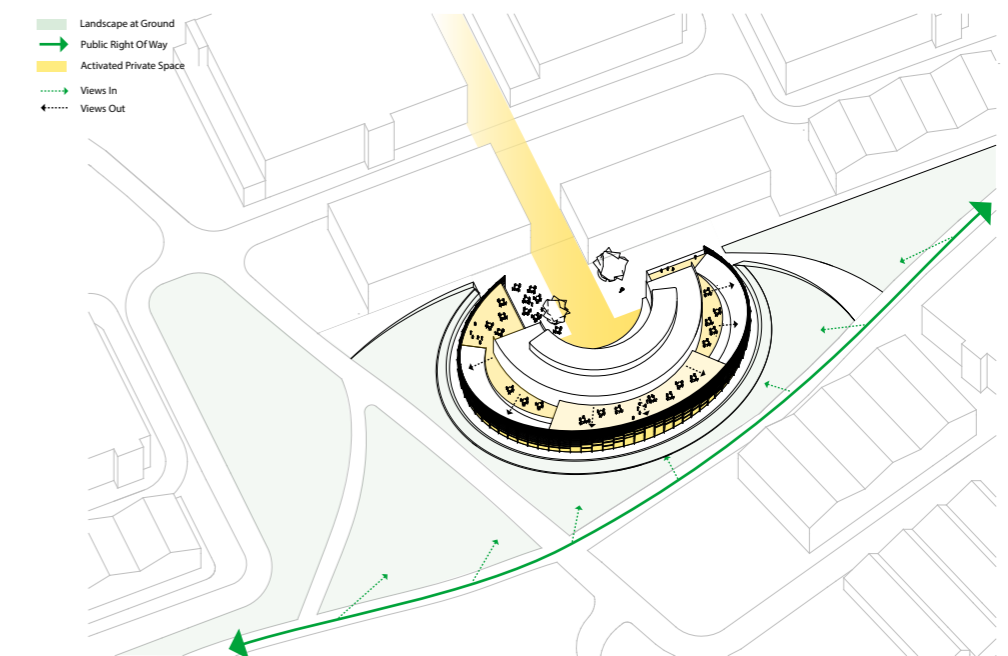


Figure 7.143 Window into the Studio

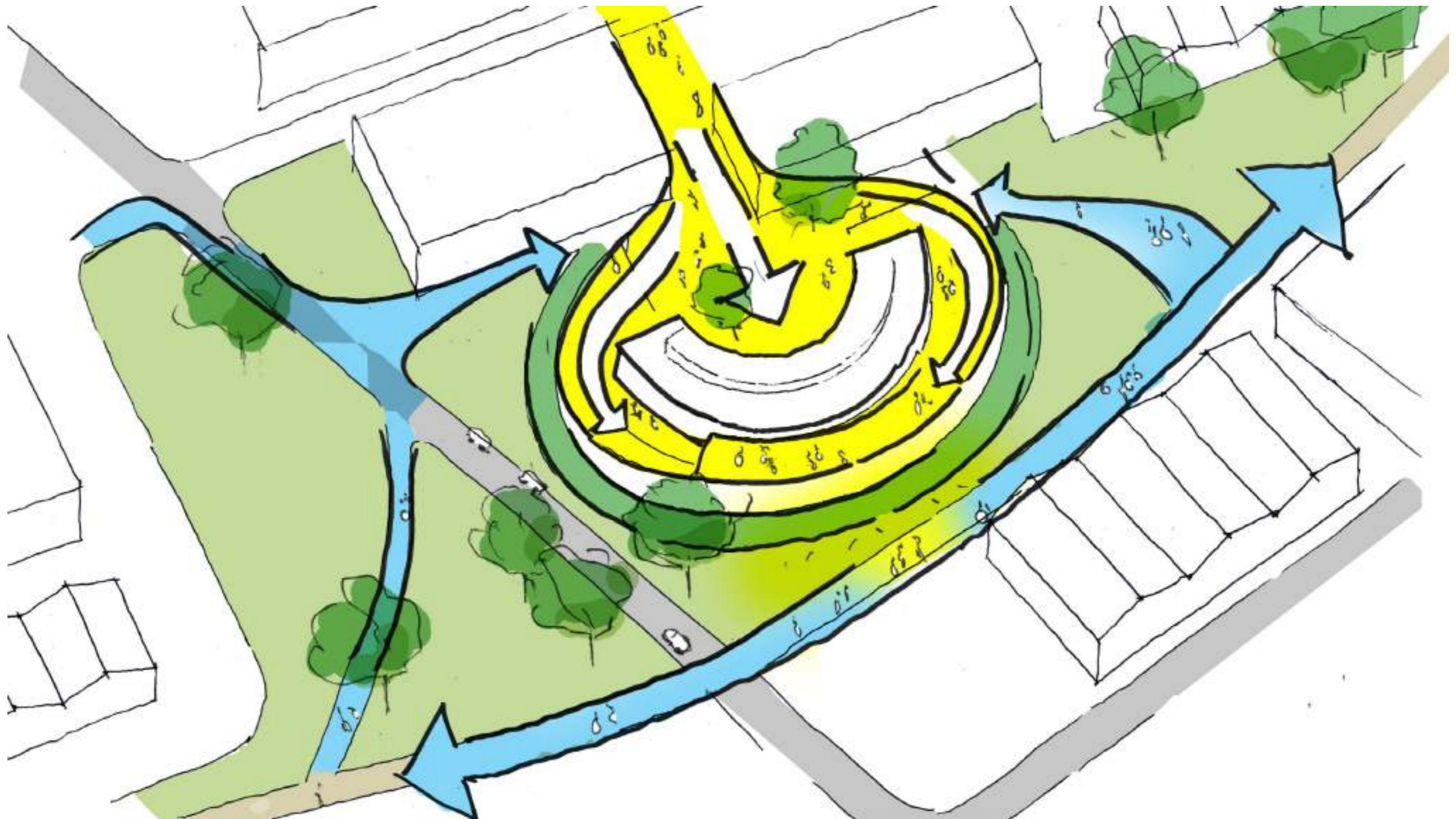


Figure 7.144 Concept Diagram



Figure 7.145 View from Public Right of Way to Studio Hub



This Studio Hub is situated to be visible to the general public passing the site and its location offers the opportunity for potential public access for certain events taking place there. It has been strategically located, acting as a nexus between the different clusters. Pedestrian links connect the Studio Hub with the different production clusters.

The building sits at the junction of Westhorpe House access road and the Public Right of Way that runs east-west across the site. It sits on a landscape bank raising it above the level of the adjacent Public Right of Way. Its curvilinear form is in part a response to its location and how it is viewed being approached from numerous directions. The building has a simple geometry; an ellipse on plan extruded up with the upper level cut across at angle lowering the height of the building to the north and increasing the levels of sunlight into the piazza. A second elliptical 'drum' at the centre of the plan extrudes up higher than the main form and houses the main core with the vertical circulation and further office accommodation.

The distinctive external envelope is formed by deep timber clad mullions arrayed around the southern side of the building supporting a curtain walling system with glass and solid panels. Horizontal brise-soleil span between the mullions providing solar shading to the facade whilst maintaining views out. The central portion of the facade encloses a generous double height exhibition space to offers view into this space and the activities that take place within.

The facade extends beyond the roof terraces creating a parapet and screening for those using the roof terraces. The curved north elevation is 'sculpted' into the overall mass to create piazza for the building's entrance and a space for the ground floor café's to spill out on to.



Figure 7.146 View looking North onto Exhibition Atrium



Figure 7.147 Exhibition Atrium

PLANS

The ground floor of this building has multiple uses; the main entrance to the building is located centrally on the northern facade. As you enter you have the main reception and core with access onto the upper floors. As you go past the reception there is a large double height exhibition space; an opportunity to showcase projects, props and art installations. The exhibition space can also be used as an event space. To the south of this space are large windows; with its proximity to the Public Right of Way, it allows passers by to look into this space as a window into the studio projects.

Flanking this space are screening rooms, lecture theatres and educational spaces. On the wings of the ground floor plan are Food and Beverage and co-working spaces.

On the upper two levels are flexible office spaces which access a large terrace amenity. The office spaces are designed so they could be multi tenanted spaces.

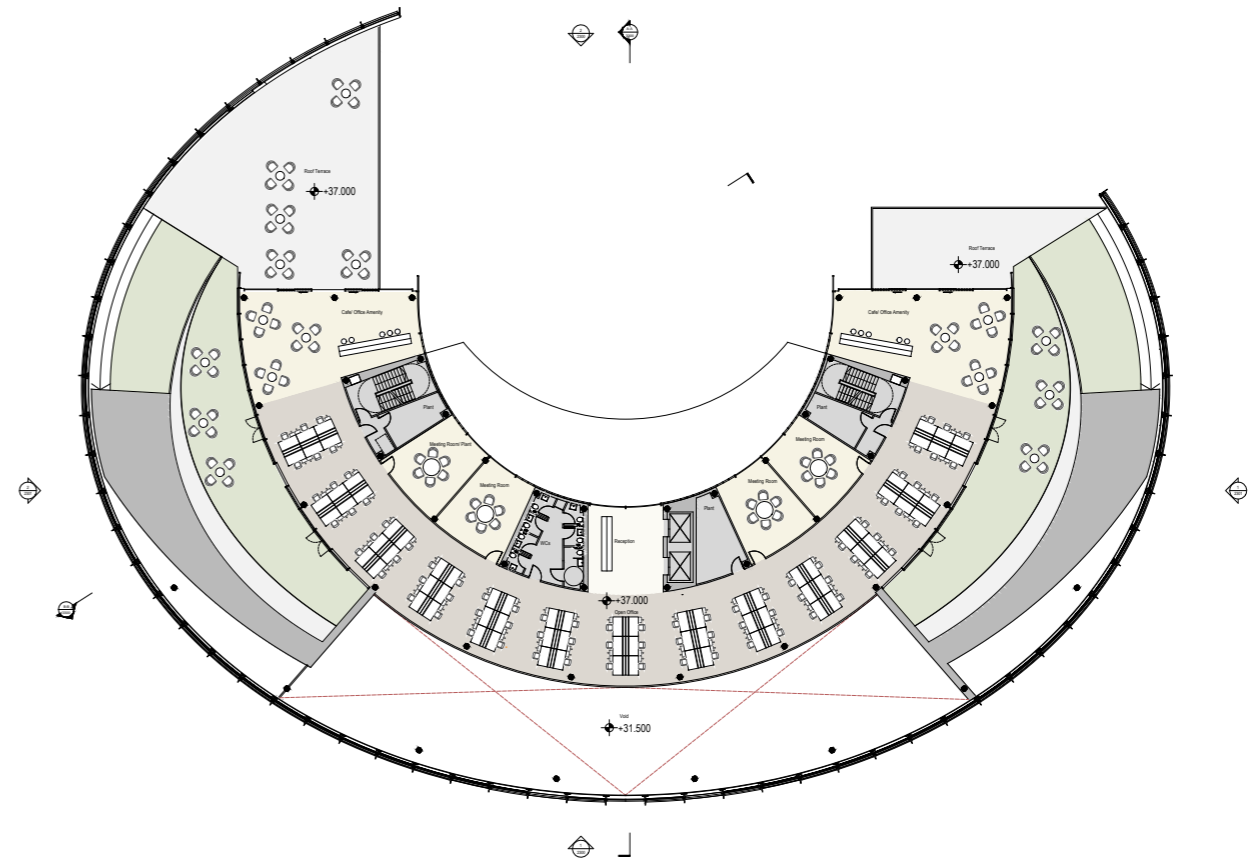


Figure 7.148 First Floor Plan of Studio Hub

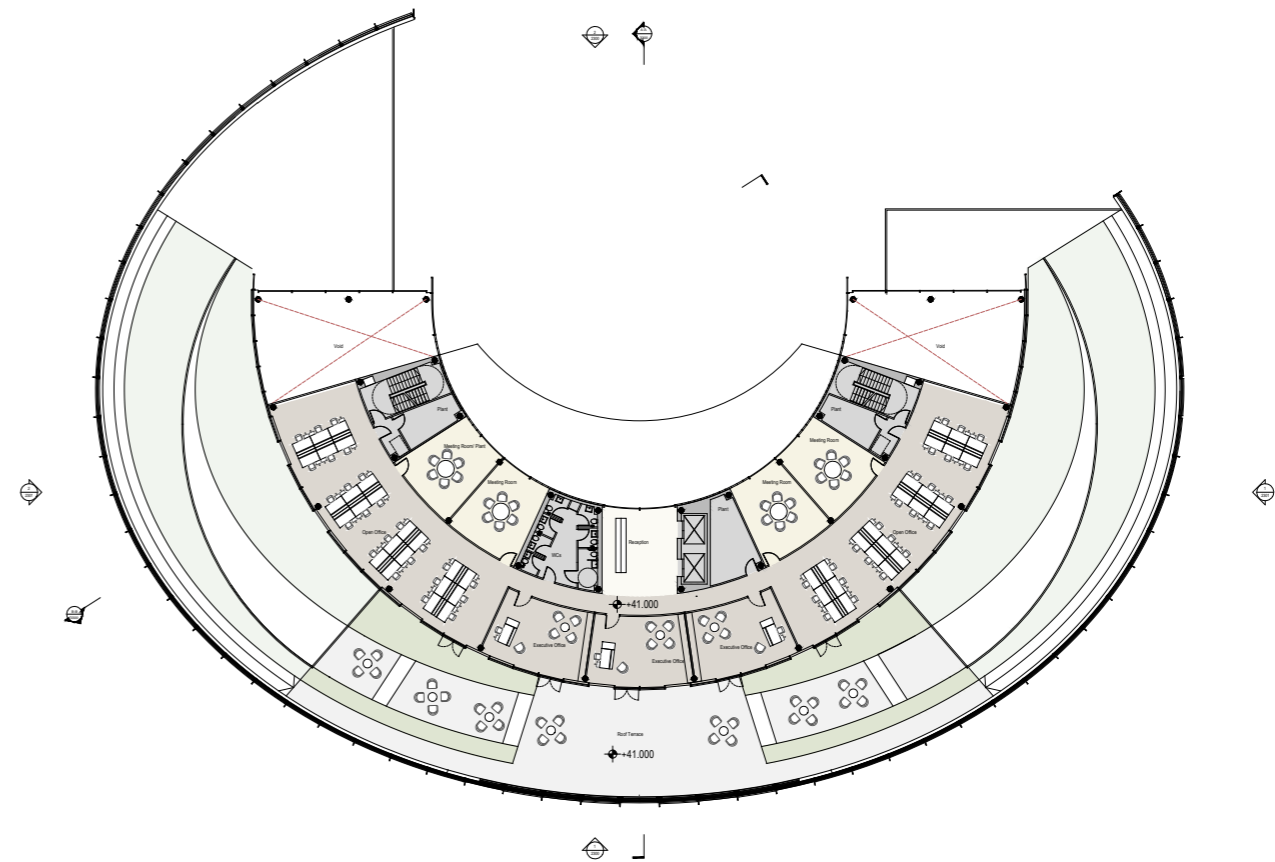
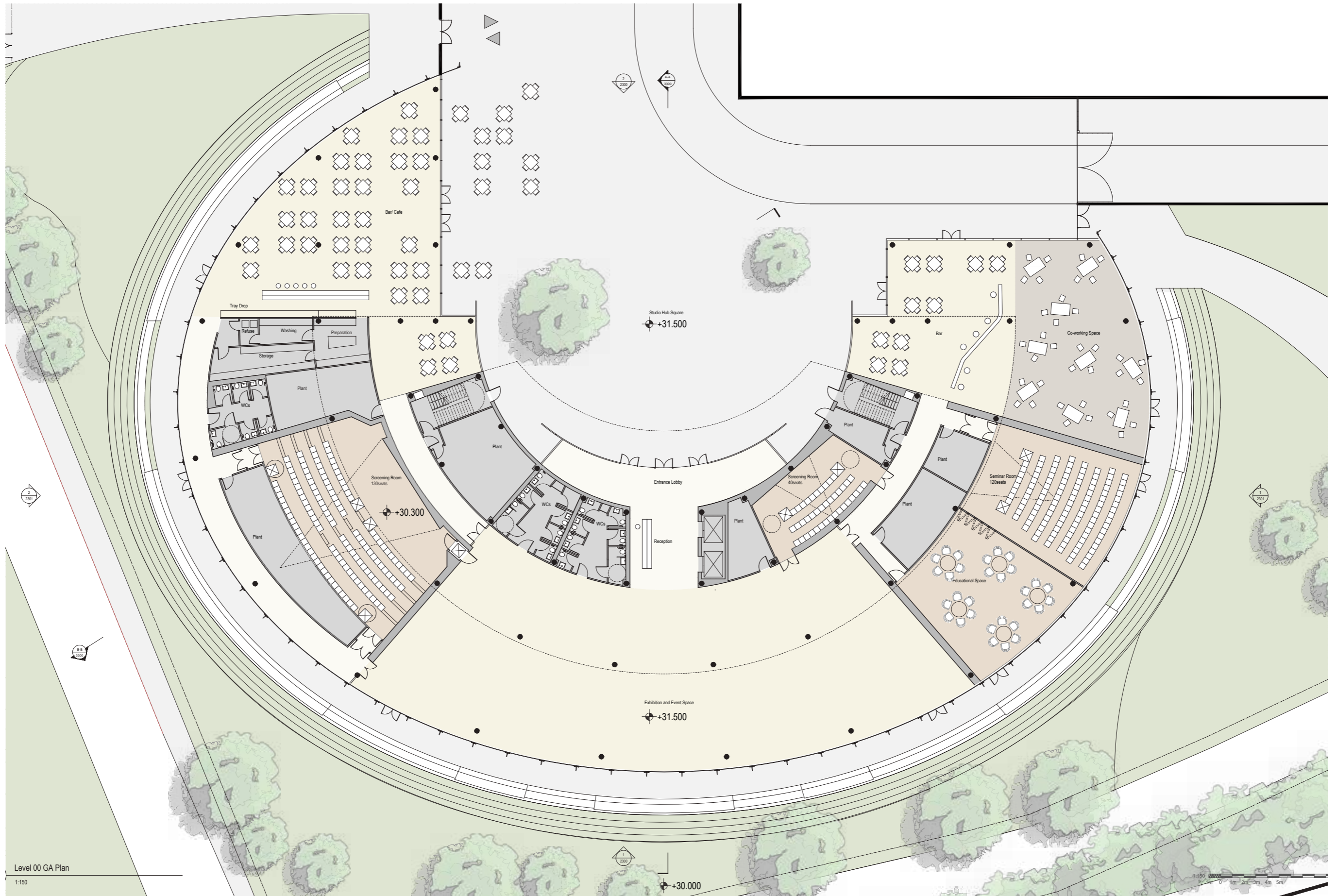


Figure 7.149 Second Floor Plan of Studio Hub



Level 00 GA Plan
1:150

Figure 7.150 Ground Floor Plan of Studio Hub

FACADE DETAILS

Buildings Envelope Materiality

1. Fair faced concrete
2. Metal profiled cladding
3. Metal profile flashing
4. Metal doors
5. Perforated metal profiled screen
6. Translucent cladding
7. Glazed Curtain walling, glazed doors
8. Glazed and metal clerestory windows
9. Glazed Curtain walling
10. Glazed and metal insulated Curtain walling
11. Glazed Curtain walling with integrated mesh shading
12. Glazed and timber insulated Curtain walling with timber shading
13. Timber brise-soleil
14. Metal brise-soleil
15. Metal louvre panels
16. Timber cladding to soffit and reveals
17. Metal standing seam cladding
18. Tiled roof
19. Green roof
20. Metal weather louvres
21. Roof lights
22. Glass vertical fins
23. Glass balustrade

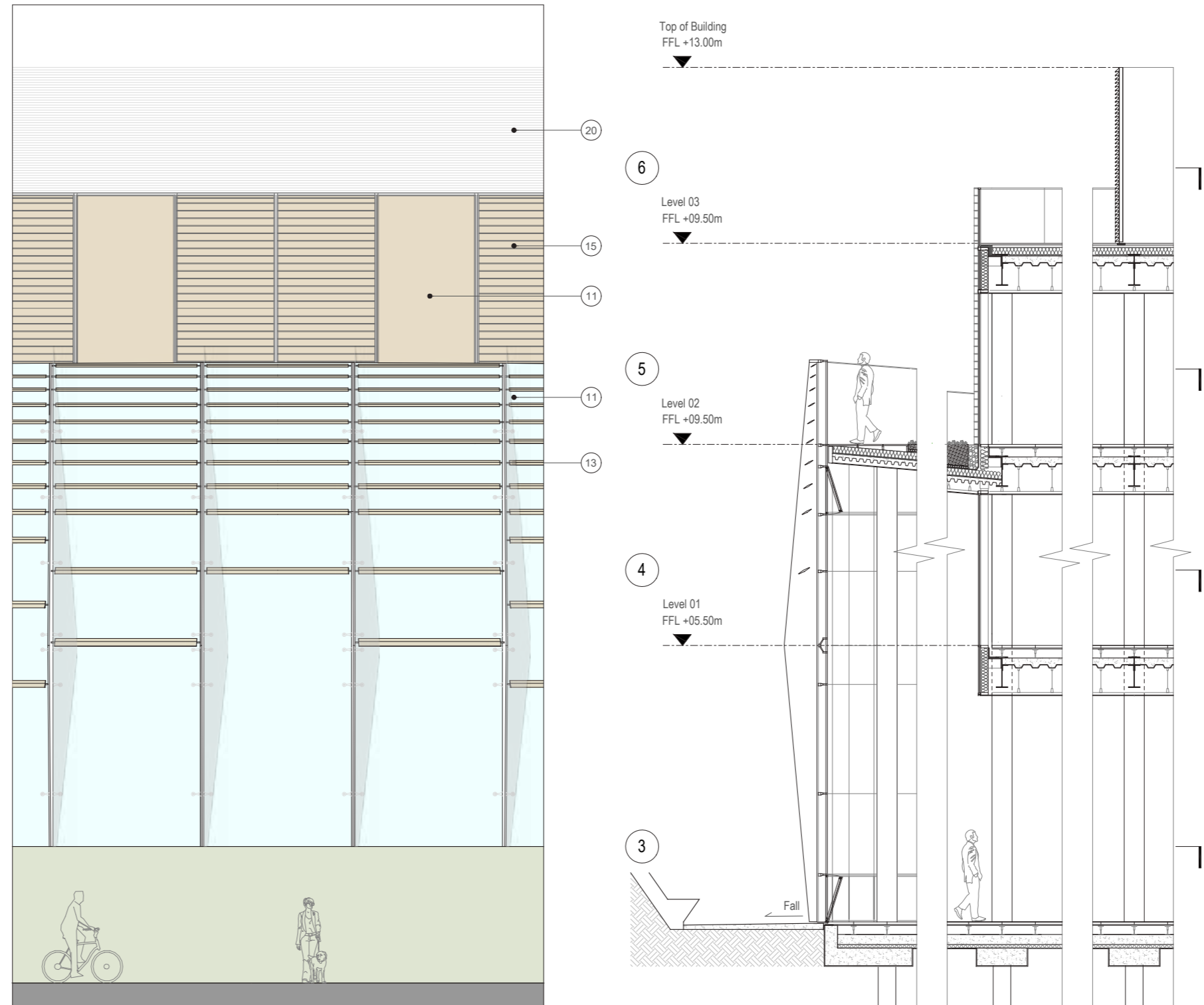


Figure 7.151 Facade Detail of Studio Hub

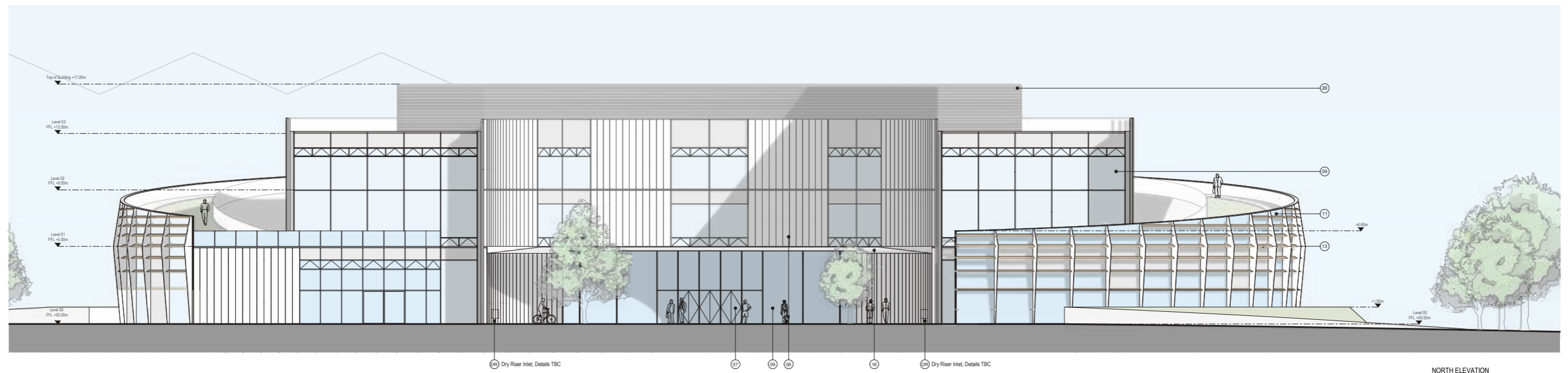
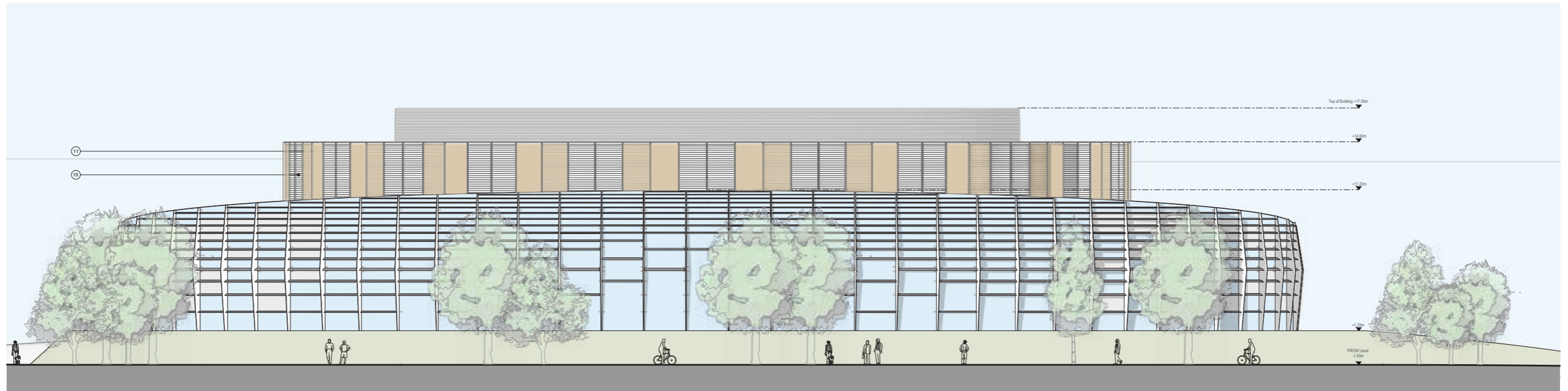


Figure 7.152 Elevations of Studio Hub

NORTH ELEVATION

7.32 THE CULTURE AND SKILLS ACADEMY

The Culture and Skills Academy building is a stand-alone building located to the south of the main development on Plot 4. The building's appearance, with its large pitched roof, has been informed by the agricultural barns in the area and is further reinforced by the choice of materials proposed.

The main form of the building has two complimentary 'wings' that project at 90 degrees from it, forming an enclosed courtyard space for the building's various functions to open out onto.



Figure 7.153 Internal View of Flexible Space



Figure 7.154 View from South East

PLANS

The building provides a large multifunction gathering space with the option of creating a raked floor auditorium by way of 'bleacher seating' that folds away when a flat floor arrangement is required.

This building will provide support function to the overall development offering a space for large groups of people to be gathered for talks, seminars and exhibitions. Being stand-alone and with its own access, the building can be open to the general public for events.

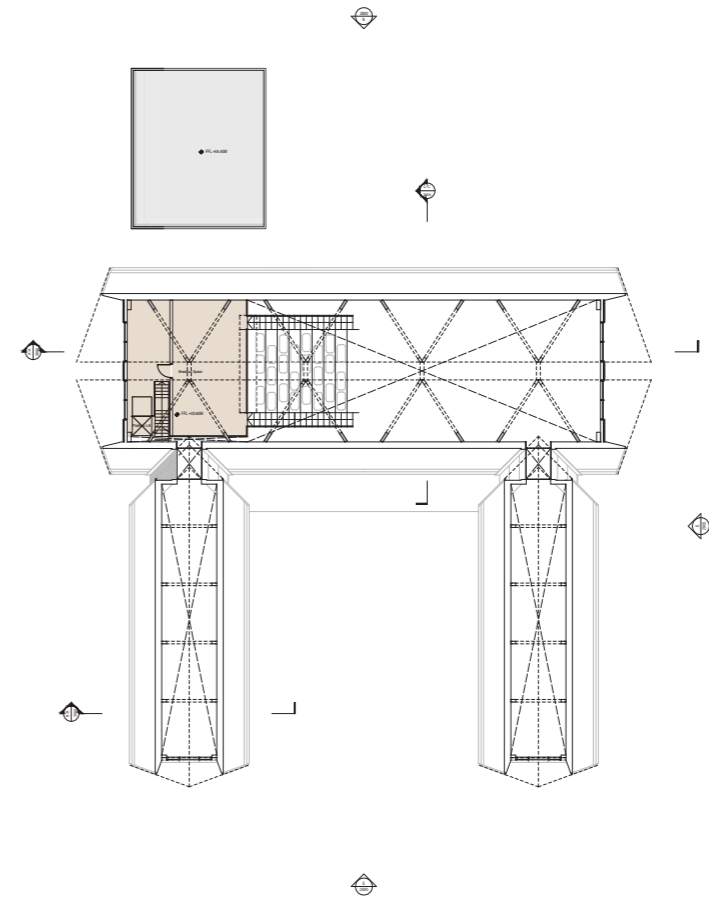


Figure 7.155 First Floor Mezzanine Plan

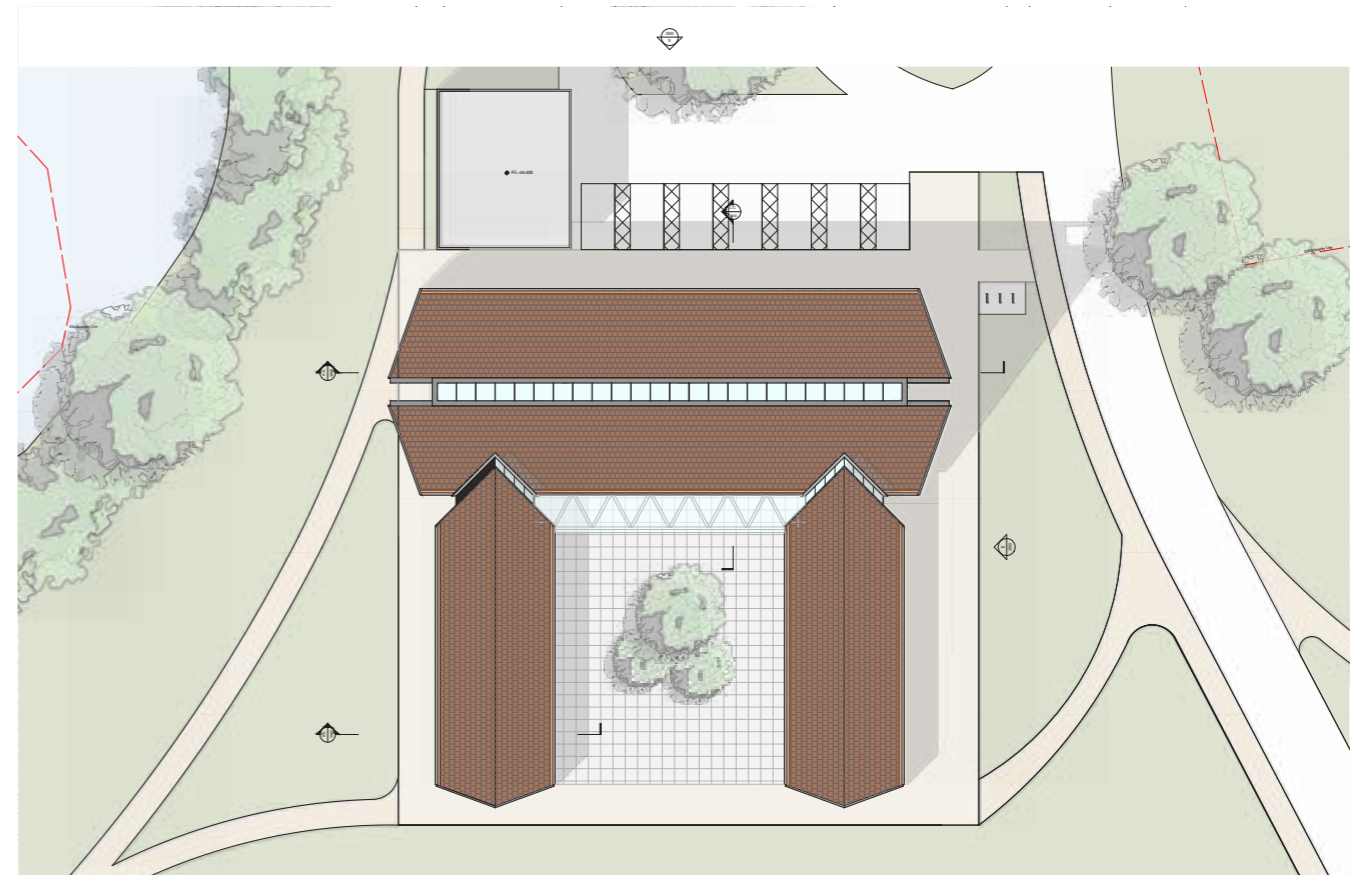


Figure 7.156 Roof Plan

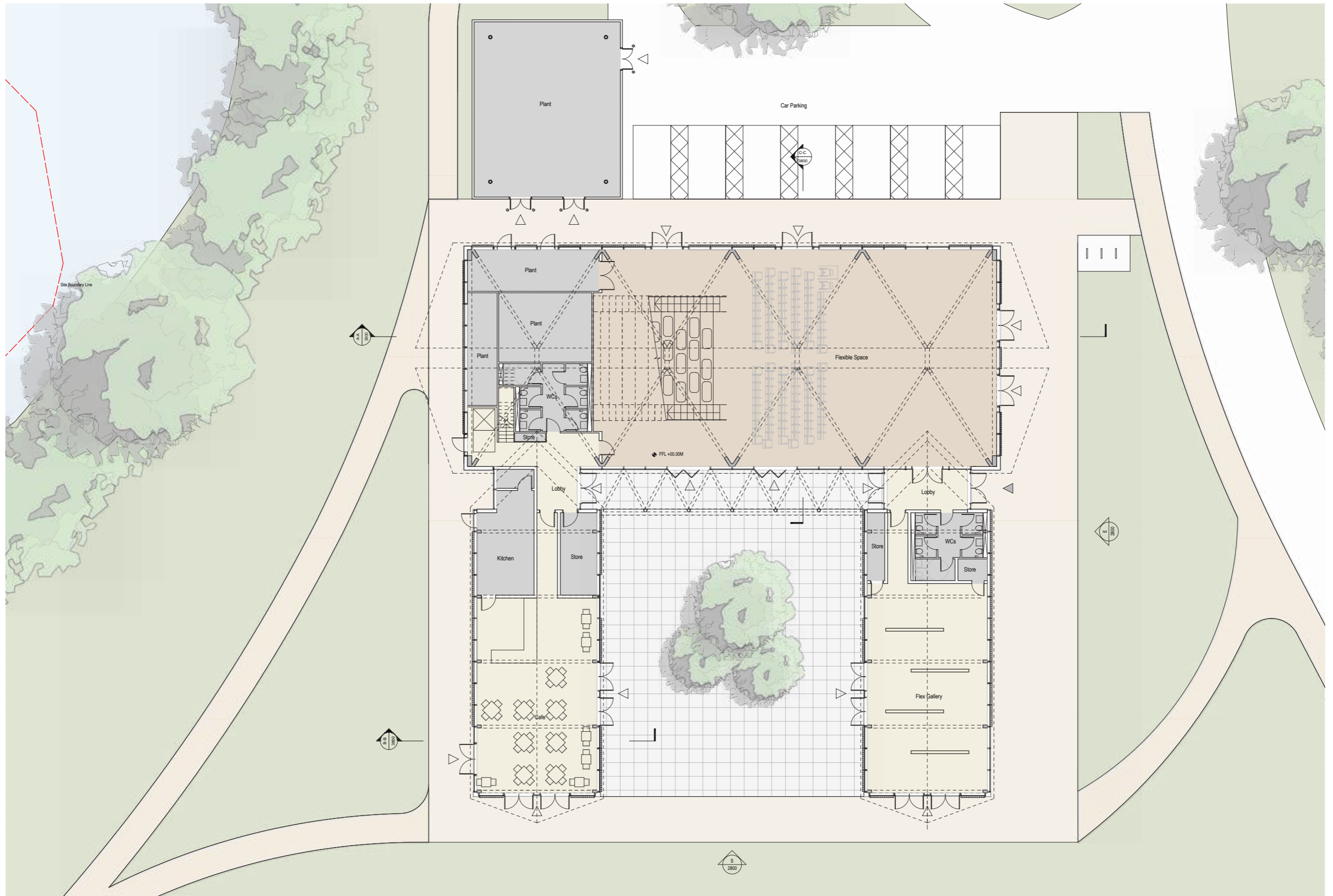


Figure 7.157 Ground Floor Plan

FACADE DETAILS

Buildings Envelope Materiality

1. Fair faced concrete
2. Metal profiled cladding
3. Metal profile flashing
4. Metal doors
5. Perforated metal profiled screen
6. Translucent cladding
7. Glazed Curtain walling, glazed doors
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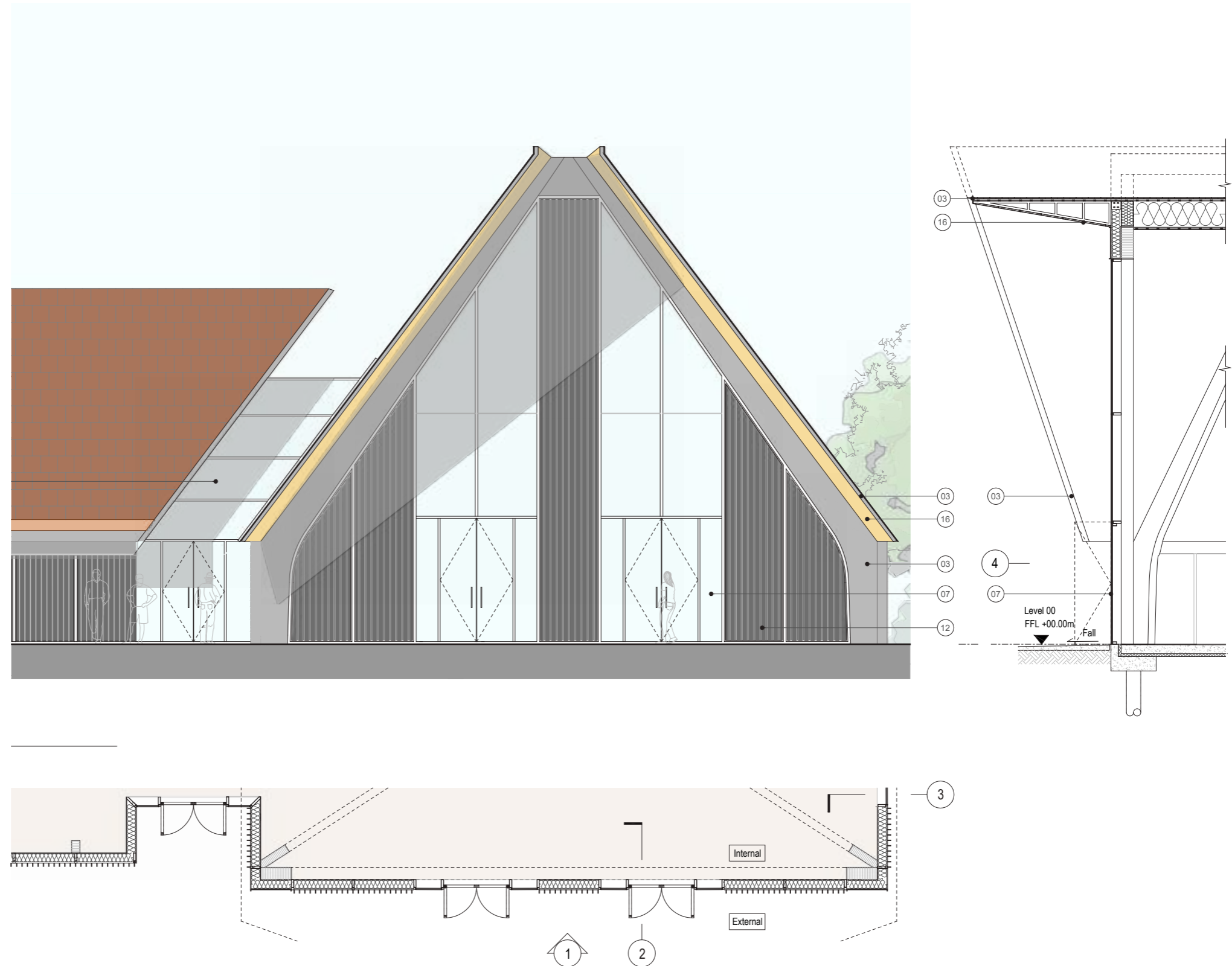


Figure 7.158 Typical Facade Detail

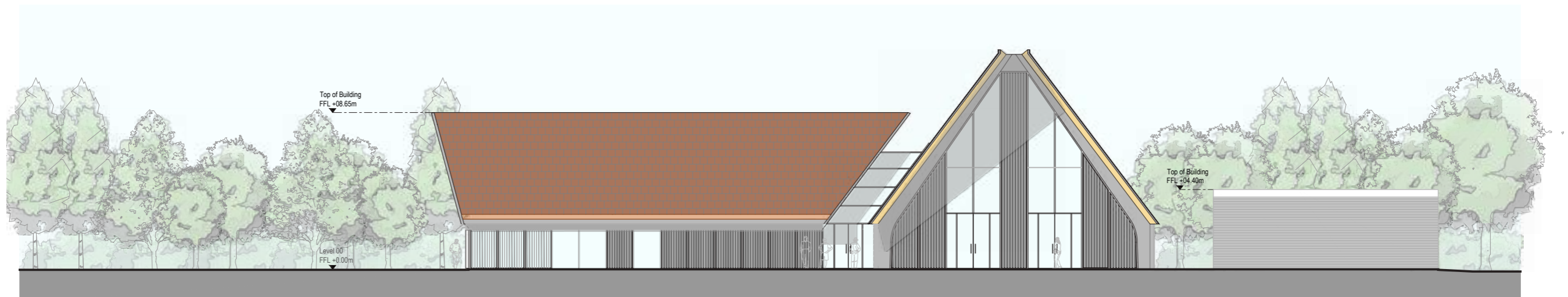
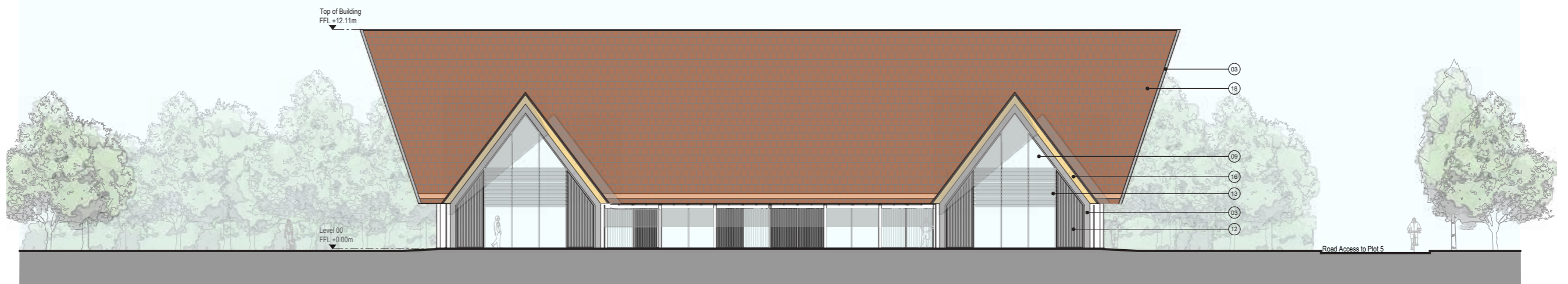


Figure 7.159 Elevations

7.33 VISIBILITY & PUBLIC INTERFACE

Beyond the secure perimeter, the proposal offers opportunities to showcase what is happening within the production clusters through exhibition spaces for film projects, film props, art, and installations. The Entrance Square, Studio Hub and the Culture and Skills Academy provide a window into Marlow Film Studios.



Figure 7.160 Physical Model of Double Height Main Reception



Figure 7.161 Physical Model of Studio Hub Showing Exhibition Atrium

7.34 INTERNAL STREETScape

Internal streets all have distinct and unique characters, they are lined with workshops and offices providing a rich streetscape and architecture. We have built wayfinding into the facades with colour coding and naming.

We want the architecture and landscaping to create a rich and vibrant setting for the tenants who will be working here. Refer to chapters 6 and 8, "Masterplan" and "Landscape" for further details on the streetscape design.



Figure 7.162 Typical Streetscape within Secure Line



Figure 7.163 Typical Streetscape within Secure Line with View onto Backlot

7.35 MATERIALITY

The proposed materials form a part of a pallet that complement the greens and browns of the surroundings and relate to the local vernacular. The images to the right show some of the samples of the materials proposed to utilise within the development. Below is the materials list.

1. Fair faced concrete
2. Metal profiled cladding
3. Metal profile flashing
4. Metal doors
5. Perforated metal profiled screen
6. Translucent cladding
7. Glazed Curtain walling, glazed doors
8. Glazed and metal clerestory windows
9. Glazed Curtain walling
10. Glazed and metal insulated Curtain walling
11. Glazed Curtain walling with integrated mesh shading
12. Glazed and timber insulated Curtain walling with timber shading
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17. Metal standing seam cladding
18. Tiled roof
19. Green roof
20. Metal weather louvres
21. Roof lights
22. Glass vertical fins
23. Glass balustrade



Figure 7.164 Materials Samples



Figure 7.165 Dyson Campus by Wilkinson Eyre



Figure 7.166 Dyson Campus by WilkinsonEyre



Figure 7.167 Dyson Campus by WilkinsonEyre



Figure 7.168 Stratford Market Depot Plant Pavilion by WilkinsonEyre



Figure 7.169 Stratford Market Depot by WilkinsonEyre

7.36 LIGHTING

The lighting strategy for the proposed development aims to enhance the appearance of the building whilst recognising the area's medium to low district brightness. A lighting scheme has been developed that reinforces the legibility of the architectural design after dark, which is subtle rather than seeking to make a grand statement.

The entrances to the buildings will be lit from surface mounted or soffit fixings. This lighting will be supplemented by subtle bollard lighting to match those within the development. (There are also column lights on the roads) The design avoids the use of uplights to avoid extreme reflection and glare that might otherwise intrude either on people, wildlife, plants or neighbouring properties. Similar light fixtures will be used along main pathways and access routes. Light spill will be reduced from interior lighting at night by a blind system (in combination with luminaires incorporating appropriate light source shielding and controls.

The proposed design uses lighting on the main Entrance Canopy and Public Art to elevate their architecture and be utilized as wayfinding.

Key aims of the lighting approach are to:

- Create an attractive lighting aesthetic that is complimentary to the architectural design
- Avoid unnecessary light pollution
- Create a sustainable solution that is easily maintained
- Provide a safe and friendly atmosphere for staff and those using the publicly accessible routes that cross the site or are nearby.



Figure 7.170 Night-time images of the Dyson Campus by WilkinsonEyre

7.37 ACCESSIBILITY

OVERVIEW

Careful consideration has been given during the early design development to ensure the needs of a wide range of people, including those with sensory, cognitive and mobility impairments, and those in wheelchairs, are integrated into the scheme so as to ensure equal and convenient access to the buildings in a flexible and adaptable and inclusive manner.

The Design and Access Statement focuses on the wider spatial issues appropriate for this stage in the design process. Hence, there is a commitment to address inclusive design issues in further detail in the following stages of the design process.

This section describes the approach taken to addressing inclusive design issues within the scheme. The criteria used here to assess and develop the design of the scheme, with recognition of local and regional policies, include:

The scheme primarily comprises buildings where people work – in the form of offices, workshops and sound stages. Careful consideration has been made with regards to equality and accessibility in relation to the building functions. It is important that the buildings as a whole can accommodate a variety of mobility impairments and needs. When the building is operable and tenants are occupying the buildings, it will become clear what those needs will be. At this design stage, the design team has ensured as much adaptability as possible can be provided.

PEDESTRIAN ROUTES

Routes around the site have been designed for pedestrians with the reduction and rationalisation of street furniture coupled with appropriate pavement widths that will allow movement of persons of all mobilities. Rest areas with seats will be provided at regular intervals and will allow sufficient adjoining space for a wheelchair, to ensure pedestrian routes are convenient for all people.

ENTRANCES

The floor levels at ground level to each entrance respond to the adjacent street/pavement level to ensure level access is achieved to all entrances. Gentle level changes are provided wherever possible across the site to avoid the need for steps or handrails. Any level change, mainly required for desired lift entry levels are at inclines no steeper than 1:21 compliant with Part M of the Building Regulation. Glazed entrances will have suitable manifestation where required.

PARKING

The majority of parking is housed within the two multi-storey carparks whilst there is also an element of on-street parking within the scheme. Good parking provision is provided for disabled drivers in the ground floor of each carpark and lifts are provided to aid access to the upper floors.

CYCLING

Entrances to cycle facilities will achieve a level threshold to aid access for both disabled and non-disabled users. Female / Male changing facilities will provide an accessible WC/Shower room and an accessible shower. In each changing room, the showers will be handed and an 1800mm turning circle provided near the shower entrance to allow wheelchair users to pass each other.

Marlow Film Studios

DESIGN AND ACCESS STATEMENT

Masterplanners: **Prior & Partners**

Concept Architects: **WilkinsonEyre**

May 2022